



Nominated Architects: Adam Haddow-7188 | John Pradel-7004

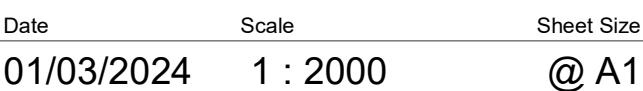
[illegible]

Client



Drawing Name

SITE PLAN



Drawing No.	Revision
DA-0101	/ 4



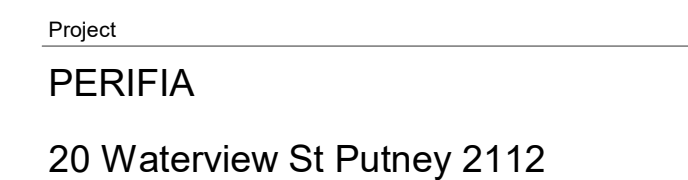
NOT FOR CONSTRUCTION

Nominated Architects: Adam Haddow-7188 | John Pradel-7004

Rev	Date	Revision	By	Chk.
1	17/07/2023	PRE DA	JS	JP
2	18/08/2023	DRAFT DA	JS	SC
3	08/09/2023	ISSUED FOR APPROVAL	JS	SC
4	01/03/2024	AMENDED DA	JS	JP
5	08/05/2024	COUNCIL RFI	JS	SC

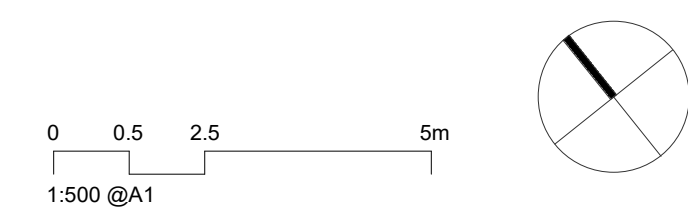
Rev	Date	Revision	By	Chk.
1	17/07/2023	PRE DA	JS	JP
2	18/08/2023	DRAFT DA	JS	SC
3	08/09/2023	ISSUED FOR APPROVAL	JS	SC
4	01/03/2024	AMENDED DA	JS	JP
5	08/05/2024	COUNCIL RFI	JS	SC

Client



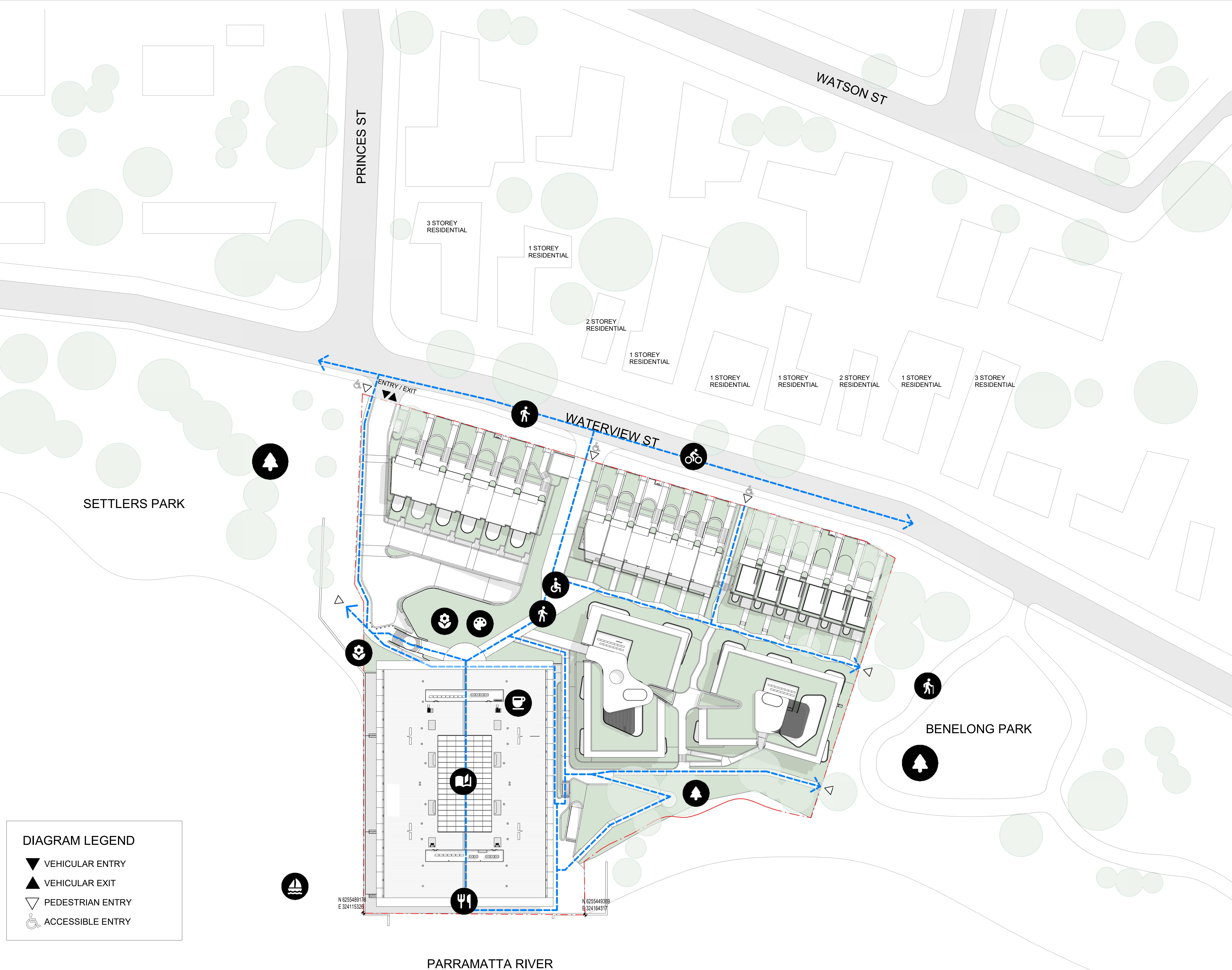
Drawing Name

SITE LAYOUT PLAN



Date	Scale	Sheet Size
08/05/2024	1 : 500	@ A1
Drawn	Chk.	Job No.
JS	SC	6810
Drawing No.	Revision	
DA-0103	/ 5	

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3	01/03/2024	AMENDED DA	JS	JP

Client

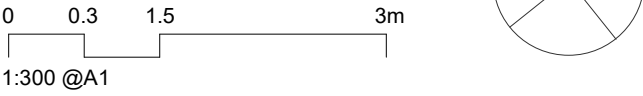


Project

PERIFA
20 Waterview St Putney 2112

Drawing Name

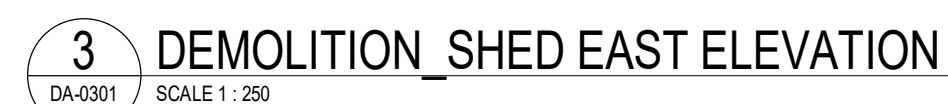
EXISTING PLAN



Date	Scale	Sheet Size
01/03/2024	1 : 300	@ A1
Drawn	Chk.	Job No.
JS	SC	6810
Drawing No.	Revision	
DA-0200	/ 3	

Nominated Architects: Adam Haddow-7188 | John Pradel-7004

Rev	Date	Revision	By	Chk.
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[illegible]

DEMOLITION TO SHED ROOF AND LOCALISED
DEMOLITION OF NON HERITAGE BUILDING
ELEMENTS



DA-0302 / 3



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TOTAL PARKING SPACES		
USE	STAGE 1 DA	STAGE 2 DA
TERRACES	24	35
RFB	42	76
SHED RESIDENTIAL	35	40
SHED RETAIL / COMMERCIAL	56	47
MARINA	0	18



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3	18/08/2023	DRAFT DA	JS	SC
4	08/09/2023	ISSUED FOR APPROVAL	JS	SC
5	22/02/2024	ISSUED FOR INFORMATION	JS	JP
7	01/03/2024	AMENDED DA	JS	JP
6	29/02/2024	ISSUED FOR INFORMATION	JS	JP
8	08/05/2024	COUNCIL RFI	JS	SC
9	11/06/2024	UPDATED PARKING	JS	SC

Client



Project
PERIFA
20 Waterview St Putney 2112

Drawing Name
OVERALL PLAN - UPPER BASEMENT

0 0.3 1.5 3m
1:300 @A1

Date	Scale	Sheet Size
11/06/2024	1:300	@ A1
Drawn	Chk.	Job No.
JS	SC	6810

Drawing No.	Revision
DA-1001	/ 9

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UPPER BASEMENT PARKING SPACES		
USE	STAGE 1 DA	STAGE 2 DA
TERRACES	18	36
RFB	42	47 (6 ACCESSIBLE)
SHED RESIDENTIAL	0	30 (2 ACCESSIBLE)
RESIDENTIAL VISITOR	0	16 (1 ACCESSIBLE)
SHED RETAIL / COMMERCIAL	0	0
MARINA	0	0

TOTAL PARKING SPACES		
USE	STAGE 1 DA	STAGE 2 DA
TERRACES	24	36
RFB	42	47
SHED RESIDENTIAL	35	30
RESIDENTIAL VISITOR	0	16
SHED RETAIL / COMMERCIAL	56	45
MARINA	0	17

LEGEND

ACCESSIBLE CARPARKING



LEGEND

STAGE 1 DA BUILDING ENVELOPE

BASEMENT EXTENTS BELOW

TREE PROTECTION ZONE

REMOVAL OF LAYBACK AND
REINSTATEMENT OF GUTTER

REMOVAL OF CROSSOVER AND
REINSTATEMENT OF FOOTPATH TOP
MATCHING EXISTING

REINSTATEMENT OF ADJOINING LAND
'SETTLERS PARK'

ALL STRUCTURES, FOOTINGS, RUBBISH
AND HANDSTANDS TO BE REMOVED.

AREA TO BE TURFED TO MATCH THE
EXISTING TURFED AREAS IN SETTLERS
PARK.

ALL EXISTING TREES TO REMAIN UNLESS
APPROVED OTHERWISE

LOCATION OF FUTURE CONNECTION TO
SETTLERS PARK FOR THROUGH SITE LINK

NOTE: SEAWALL HEIGHT AND EXTENTS
TO COMPLY WITH:
NORTHROP REFERENCE LETTER
(REFERENCE: 170924, DATED 15 MAY 2019)
HARBOUR FLOODING REPORT
PREPARED BY ROYAL HASKONING HV
(DATED 14/05/2018)

HERITAGE AND INDIGENOUS STRATEGY TO
FORECOURT AREA TO FUTURE DETAIL

TRANSPLANTED TREE T378

COMMON USE LETTER
BOX TO TERRACES ON
FRONT BOUNDARY FENCE

RELOCATED SUBSTATION BY
AUSGRID TO AND SUBJECT
TO EXECUTED DEED OF
AGREEMENT FOR EASEMENT
PROPOSED SUBSTATION
FOR DEVELOPMENT

PEDESTRIAN
ACCESSIBLE

GREEN LINES INDICATIVE OF
TREE PROTECTION ZONE

STAGE 1 DA BUILDING ENVELOPE

STAGE 1 DA BUILDING ENVELOPE

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8	08/05/2024	COUNCIL RFI	JS	SC

Client

PERIFA
ABADEEN

Project

PERIFA

20 Waterview St Putney 2112

Drawing Name

OVERALL PLAN - SHED
AND RFB GROUND LEVEL

0 0.3 1.5 3m
1:300 @A1

Date Scale Sheet Size
08/05/2024 1:300 @ A1

Drawn Chk. Job No.
JS SC 6810

Drawing No. Revision
DA-1002 / 8

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4	08/09/2023	ISSUED FOR APPROVAL	JS	SC
5	22/02/2024	ISSUED FOR INFORMATION	JS	JP
6	01/03/2024	AMENDED DA	JS	JP
7	08/05/2024	COUNCIL RFI	JS	SC
8	12/07/2027	RESPONSE TO COUNCIL	BD	SC

Client



Project

PERIFA

20 Waterview St Putney 2112

Drawing Name

OVERALL PLAN - SHED
AND RFB LEVEL 1

0 100 500 1000mm
1:100 @A1

Date Scale Sheet Size
12/07/2027 1 : 300 @ A1

Drawn Chk. Job No.
JS SC 6810

Drawing No. Revision
DA-1003 / 8

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1	30/06/2023	FOR COORDINATION	SH	SC
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4	08/09/2023	ISSUED FOR APPROVAL	JS	SC
5	22/02/2024	ISSUED FOR INFORMATION	JS	JP
6	01/03/2024	AMENDED DA	JS	JP
7	12/07/2027	RESPONSE TO COUNCIL	BD	SC

Client



Project

PERIFA

20 Waterview St Putney 2112

Drawing Name

OVERALL PLAN - RFB
LEVEL 2

0 0.3 1.5 3m
1:300 @A1

Date Scale Sheet Size
12/07/2027 1 : 300 @ A1

Drawn Chk. Job No.
JS SC 6810

Drawing No. Revision
DA-1004 / 7

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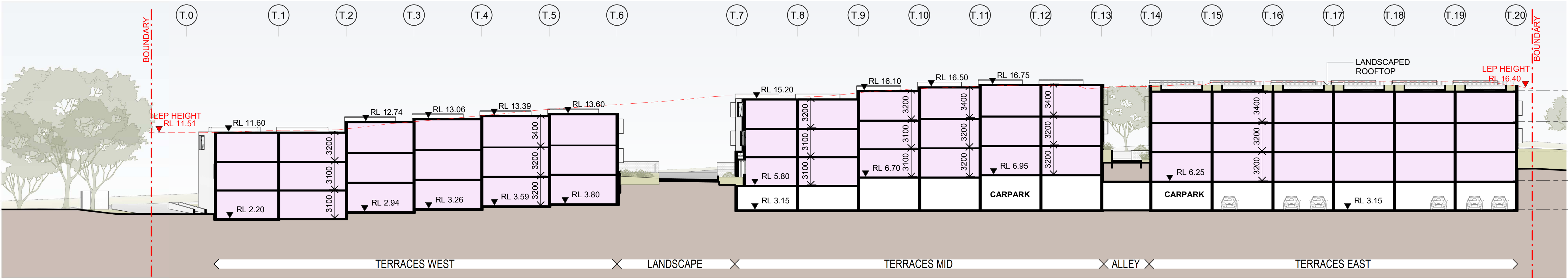
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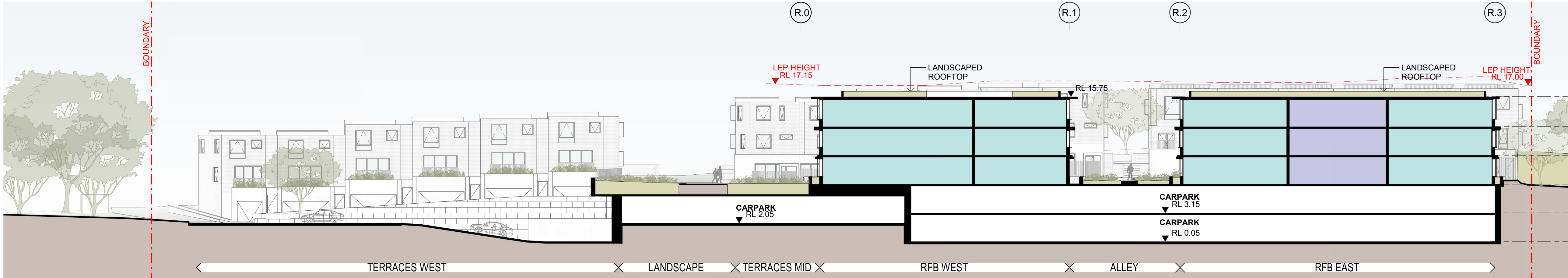
Rev	Date	Revision	By	Chk.
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3	01/03/2024	AMENDED DA	JS	JP



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A Section A
SCALE 1 : 250



B Section B
SCALE 1 : 250

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4	08/09/2023	ISSUED FOR APPROVAL	JS	SC
5	01/03/2024	AMENDED DA	JS	JP

TERRACE ROOF LEVEL	16050
TERRACE LEVEL 02	12650
TERRACE LEVEL 01	9450
TERRACE GROUND LEVEL	6250
UPPER BASEMENT	3150
LOWER BASEMENT	50

Client



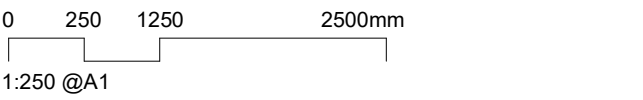
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PERIFA

20 Waterview St Putney 2112

Drawing Name

SECTIONS



Date
01/03/2024

Scale
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Sheet Size
@ A1

Drawn
JS

Chk.
SC

Job No.
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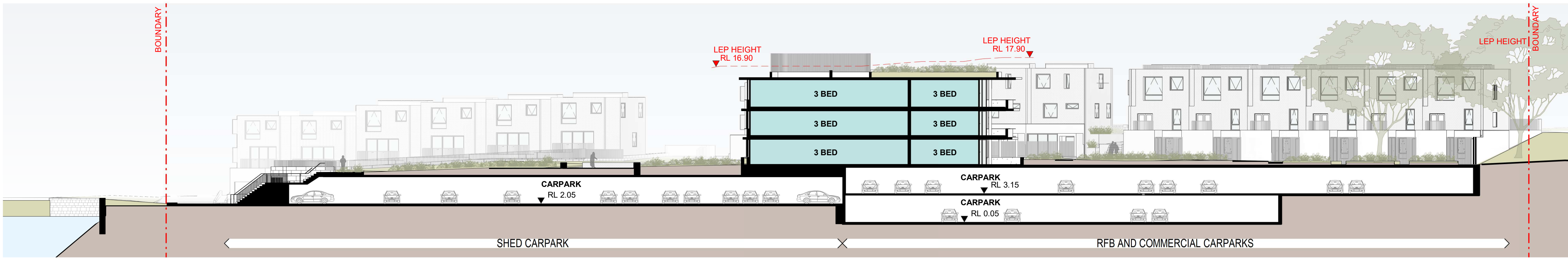
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DA-1500

Revision
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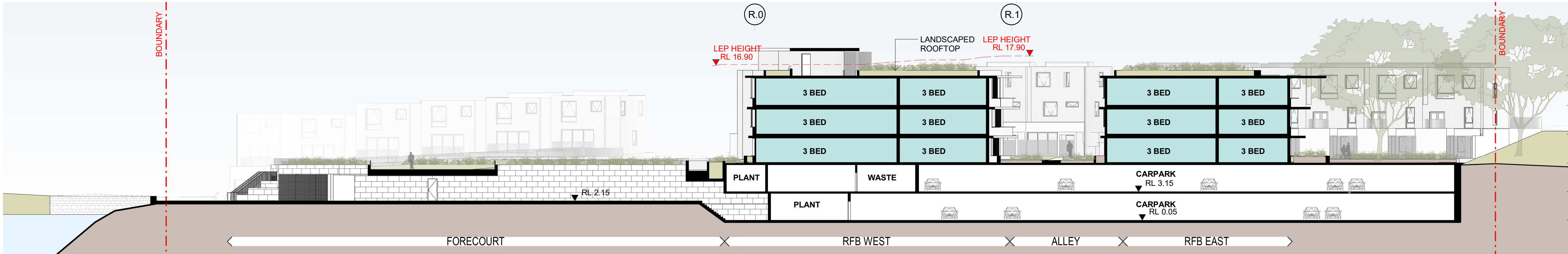
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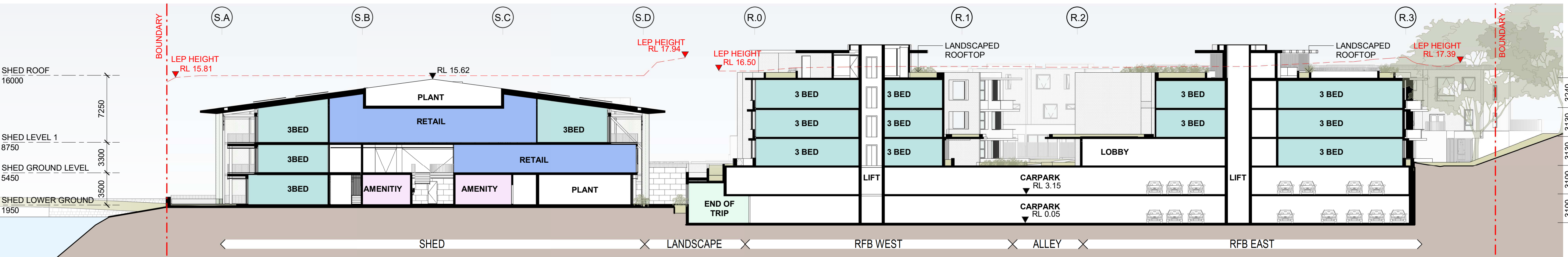
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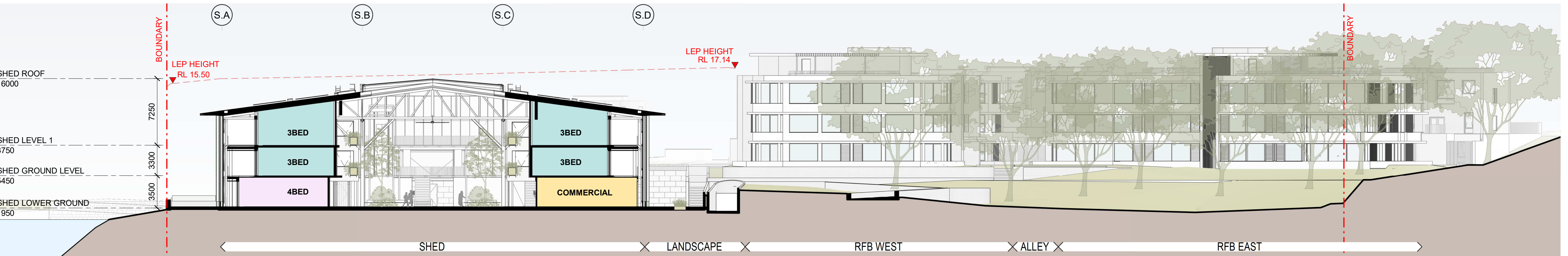
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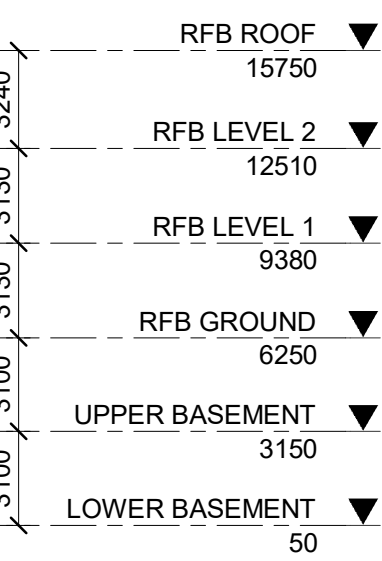
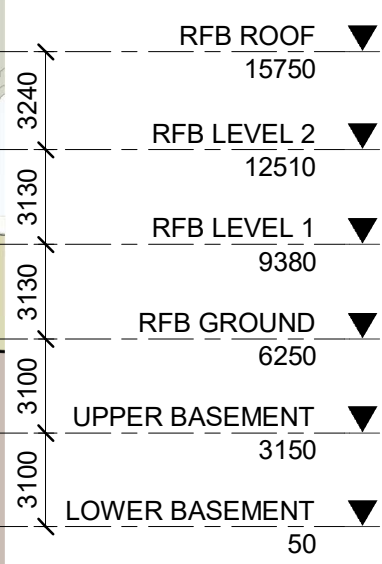
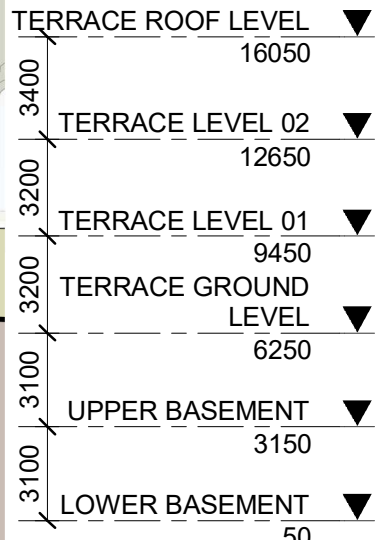
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SCALE 1 : 250



E Section E
SCALE 1 : 250



F Section F
SCALE 1 : 250



Client

Project

PERIFA

20 Waterview St Putney 2112

Drawing Name

SECTIONS

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1:250 @A1

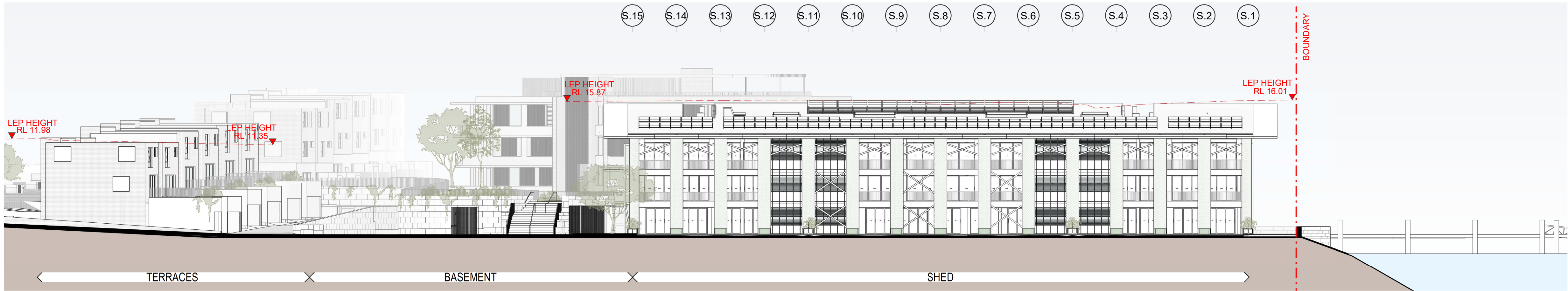
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JS	SC	6810

Drawing No.	Revision
DA-1501	/ 5

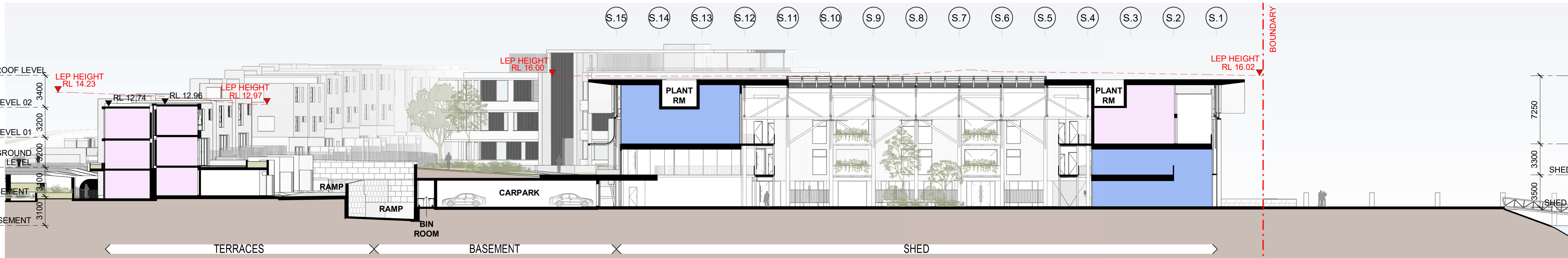
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5	01/03/2024	AMENDED DA	JS	JP



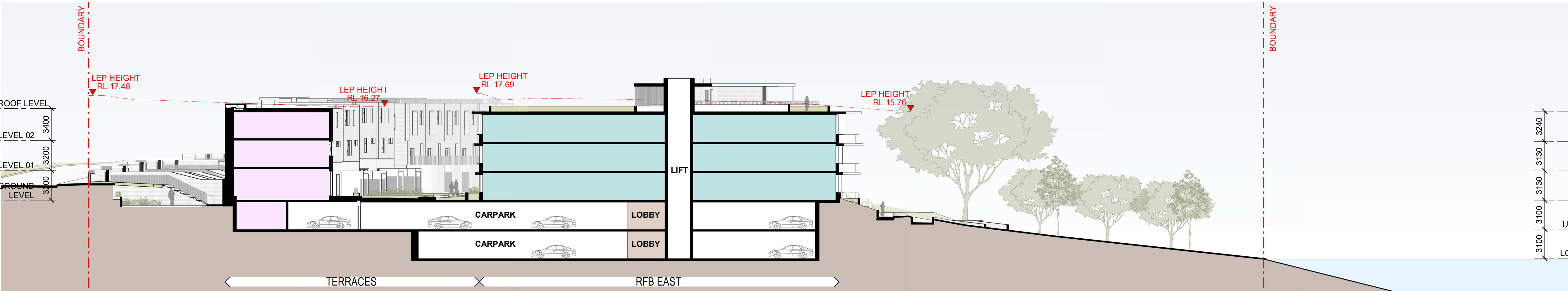
G Section G
SCALE 1: 250

SHED ROOF	16000
SHED LEVEL 1	8750
SHED GROUND LEVEL	5450
SHED LOWER GROUND	1950



H Section H
SCALE 1: 250

SHED ROOF	16000
SHED LEVEL 1	8750
SHED GROUND LEVEL	5450
SHED LOWER GROUND	1950



I Section I
SCALE 1: 250

RFB ROOF	15750
RFB LEVEL 2	12510
RFB LEVEL 1	9380
RFB GROUND	6250
UPPER BASEMENT	3150
LOWER BASEMENT	50

Client

PERIFA
ABADEEN

Project

PERIFA
20 Waterview St Putney 2112

Drawing Name
SECTIONS

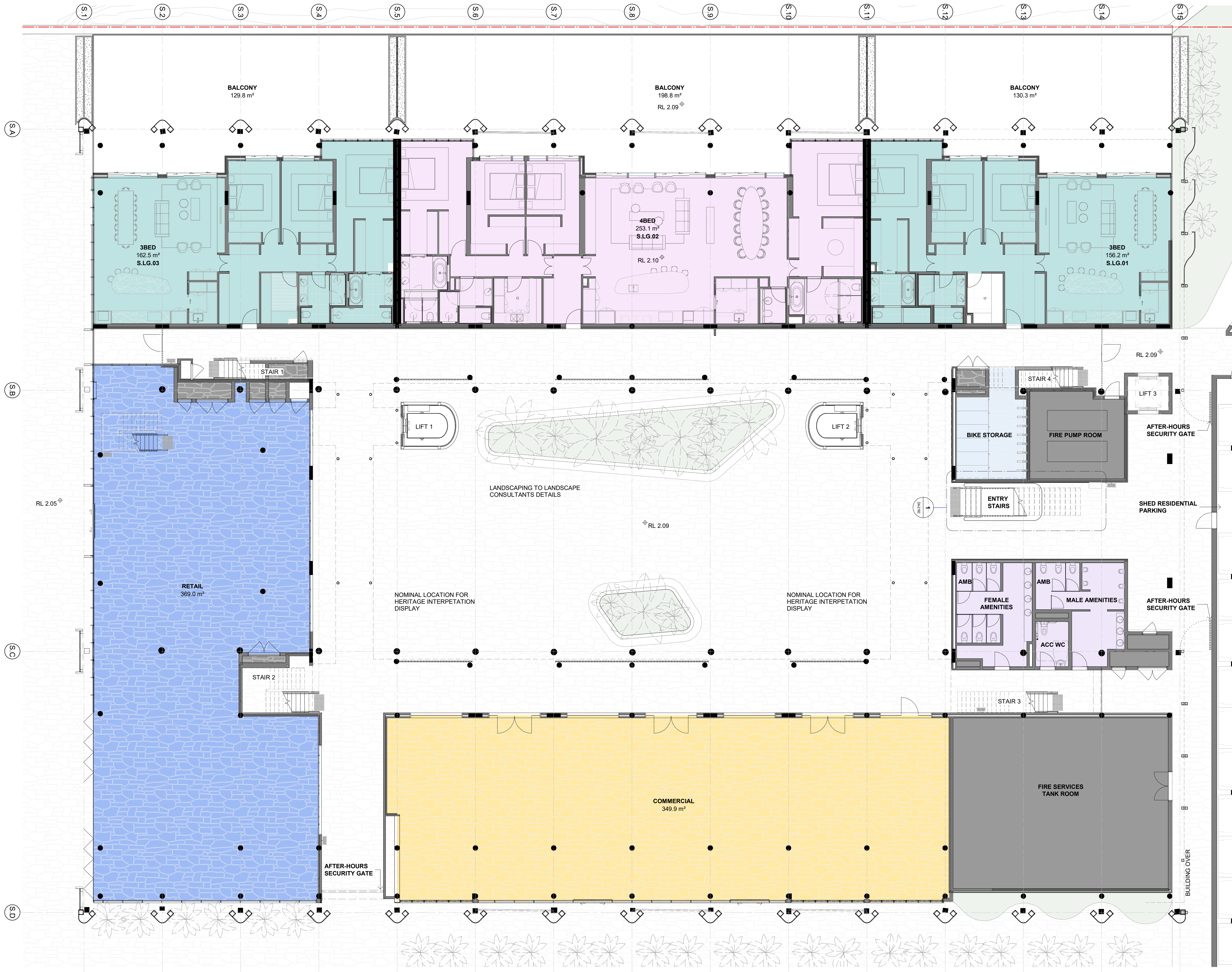
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Date Scale Sheet Size
01/03/2024 1 : 250 @ A1

Drawn Chk. Job No.
JS SC 6810

Drawing No. Revision
DA-1502 / 5





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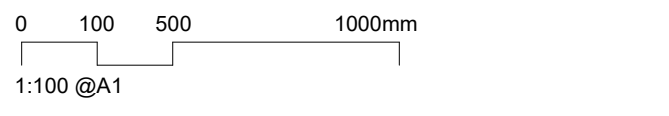
NOTE:
PUBLIC AND ENTRY DOORS TO BE
ACCESSIBLE COMPLIANT AND MINIMUM
850 CLEAR OPENING.

Client

PERIFA
ABADEEN

Project
PERIFA
20 Waterview St Putney 2112

Drawing Name
FLOOR PLAN - SHED -
LOWER GROUND

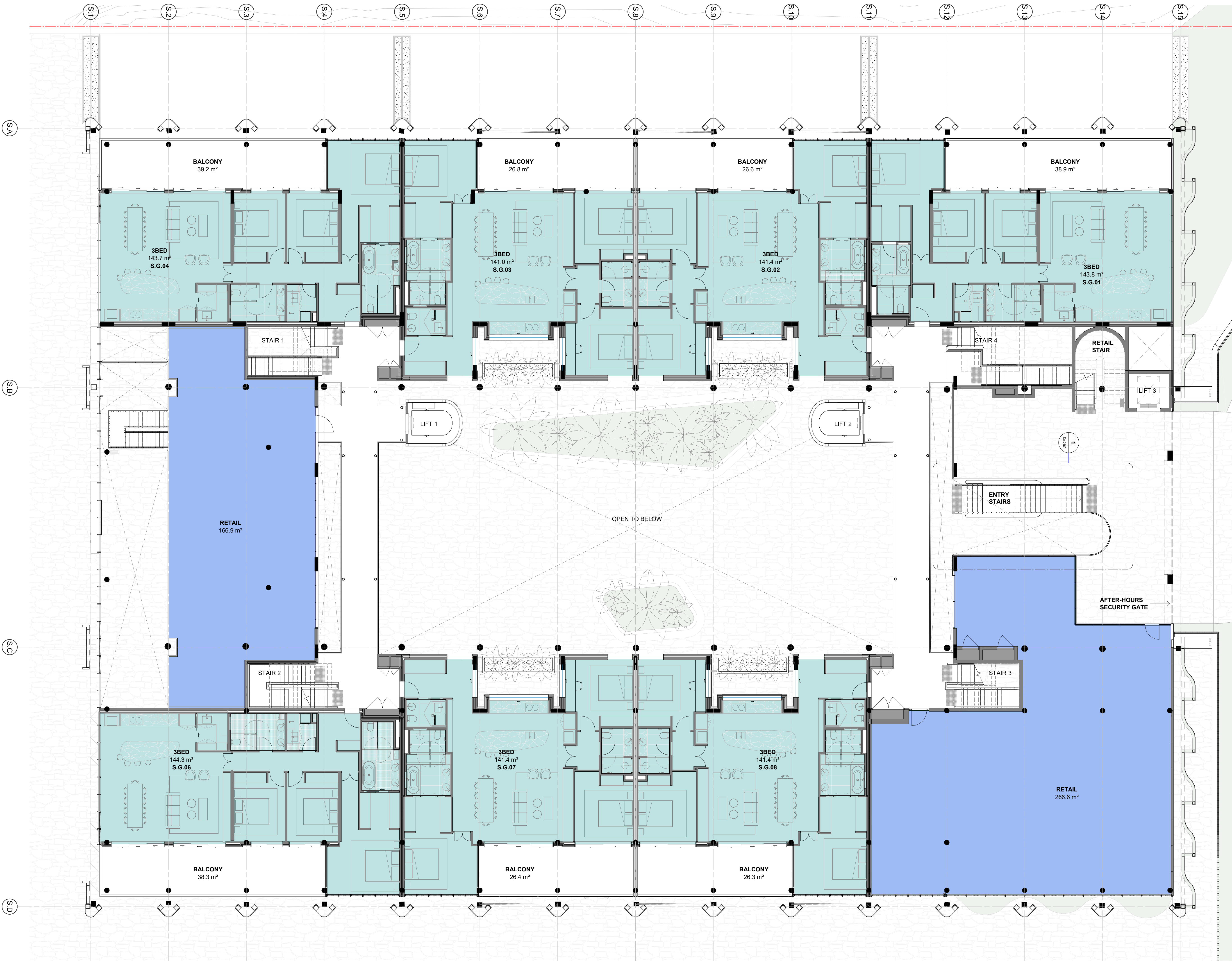


Date	Scale	Sheet Size
01/03/2024	1 : 100	@ A1
Drawn	Chk.	Job No.
JS	SC	6810

Drawing No.	Revision
DA-2100	/ 3

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NOTE:
PUBLIC AND ENTRY DOORS TO BE
ACCESSIBLE COMPLIANT AND MINIMUM
850 CLEAR OPENING.

Client



Project
PERIFA
20 Waterview St Putney 2112

Drawing Name
FLOOR PLAN - SHED -
GROUND

0 100 500 1000mm
1:100 @A1

Date	Scale	Sheet Size
01/03/2024	1 : 100	@ A1
Drawn	Chk.	Job No.
JS	SC	6810

Drawing No.	Revision
DA-2101	/ 3

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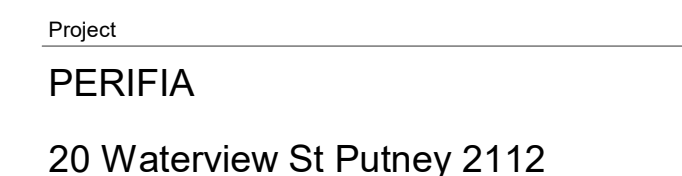
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Rev	Date	Revision	By	Chk.
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ENTRY
CANOPY
BELOW

Client

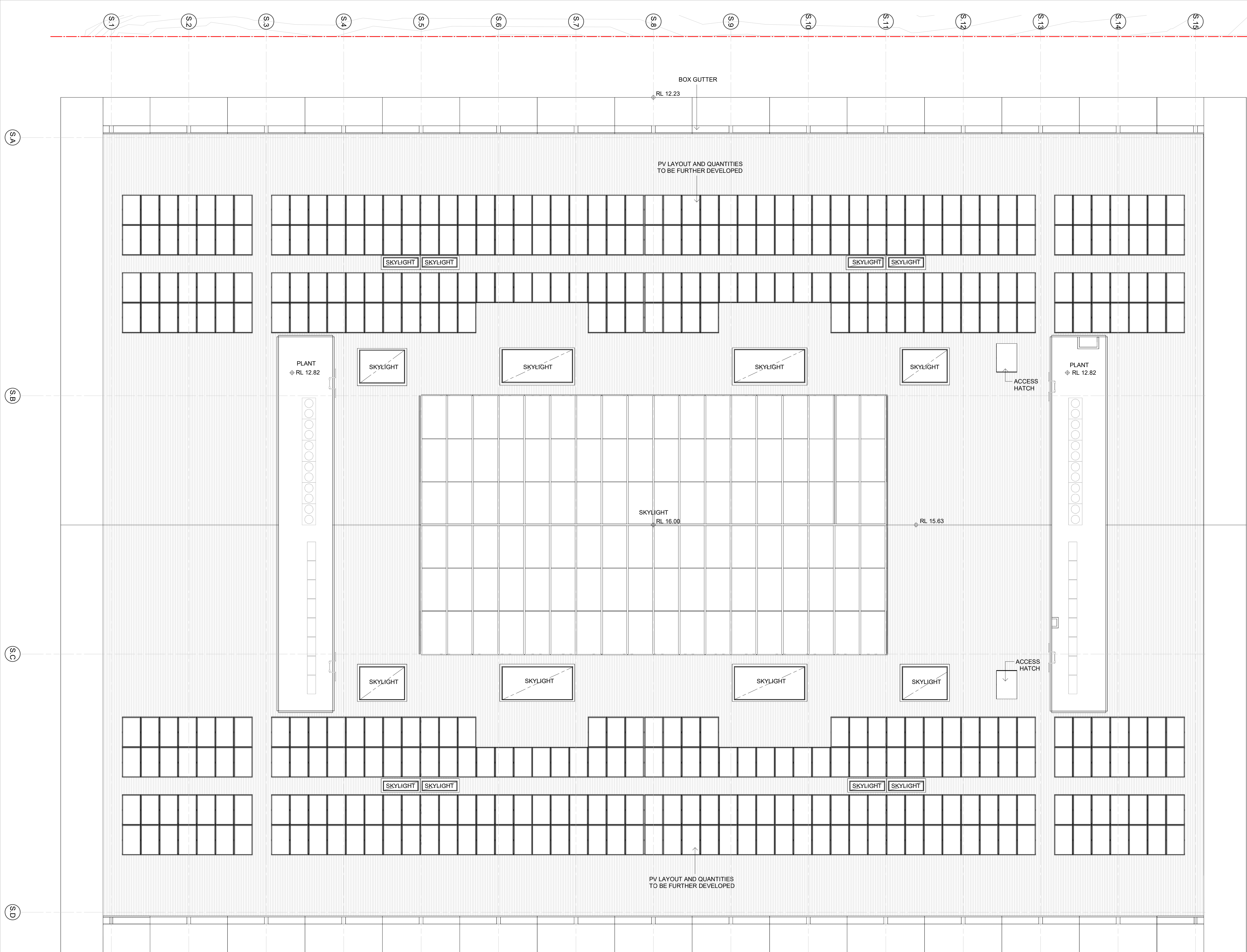


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Drawing No.	Revision
DA-2102	/ 3

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1	18/08/2023	DRAFT DA	JS	SC
2	08/09/2023	ISSUED FOR APPROVAL	JS	SC
3	01/03/2024	AMENDED DA	JS	JP

Client



Project

PERIFA
20 Waterview St Putney 2112

Drawing Name

FLOOR PLAN - SHED -
ROOF

0 100 500 1000mm
1:100 @A1

Date	Scale	Sheet Size
01/03/2024	1 : 100	@ A1

Drawn	Chk.	Job No.
JS	SC	6810

Drawing No.	Revision
DA-2103	/ 3

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1	18/08/2023	DRAFT DA	JS	SC
2	08/09/2023	ISSUED FOR APPROVAL	JS	SC
3	01/03/2024	AMENDED DA	JS	JP

Client _____

20 Waterview St Putney 2112

FLOOR PLAN -
RESIDENTIAL FLAT
BUILDING WEST -
GROUND LEVEL



Drawing No.	Revision
E-10000	1.0

DA-2200 / 3

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Rev	Date	Revision	By	Chk.
1	18/08/2023	DRAFT DA	JS	SC
2	08/09/2023	ISSUED FOR APPROVAL	JS	SC
3	01/03/2024	AMENDED DA	JS	JP

Client

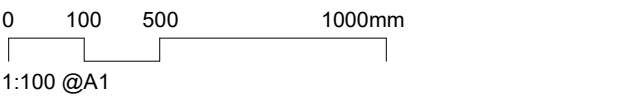


Project

PERIFA
20 Waterview St Putney 2112

Drawing Name

FLOOR PLAN -
RESIDENTIAL FLAT
BUILDING EAST -
GROUND LEVEL



Date	Scale	Sheet Size
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Drawn	Chk.	Job No.
JS	SC	6810

Drawing No.	Revision
DA-2201	/ 3

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1	18/08/2023	DRAFT DA	JS	SC
2	08/09/2023	ISSUED FOR APPROVAL	JS	SC
3	01/03/2024	AMENDED DA	JS	JP
4	12/07/2027	RESPONSE TO COUNCIL	BD	SC

Client



Project

PERIFA

20 Waterview St Putney 2112

Drawing Name

FLOOR PLAN -
RESIDENTIAL FLAT
BUILDING WEST - LEVEL
01

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1:100 @A1

Date	Scale	Sheet Size
12/07/2027	1 : 100	@ A1

Drawn	Chk.	Job No.
JS	SC	6810

Drawing No.	Revision
DA-2202	/ 4

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1	18/08/2023	DRAFT DA	JS	SC
2	08/09/2023	ISSUED FOR APPROVAL	JS	SC
3	01/03/2024	AMENDED DA	JS	JP
4	12/07/2027	RESPONSE TO COUNCIL	BD	SC

Client



Project

PERIFA

20 Waterview St Putney 2112

Drawing Name

FLOOR PLAN -
RESIDENTIAL FLAT
BUILDING EAST - LEVEL
01

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1:100 @A1

Date	Scale	Sheet Size
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Drawn	Chk.	Job No.
JS	SC	6810

Drawing No.	Revision
DA-2203	/ 4

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1	18/08/2023	DRAFT DA	JS	SC
2	08/09/2023	ISSUED FOR APPROVAL	JS	SC
3	01/03/2024	AMENDED DA	JS	JP
4	12/07/2027	RESPONSE TO COUNCIL	BD	SC

Client



Project

PERIFA

20 Waterview St Putney 2112

Drawing Name

FLOOR PLAN -
RESIDENTIAL FLAT
BUILDING WEST - LEVEL
02

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Date	Scale	Sheet Size
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Drawn	Chk.	Job No.
JS	SC	6810

Drawing No.	Revision
DA-2204	/ 4

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3	01/03/2024	AMENDED DA	JS	JP
4	12/07/2027	RESPONSE TO COUNCIL	BD	SC

Client



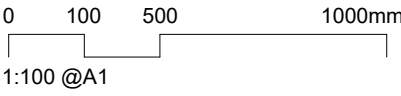
Project

PERIFA

20 Waterview St Putney 2112

Drawing Name

FLOOR PLAN -
RESIDENTIAL FLAT
BUILDING EAST - LEVEL
02



Date	Scale	Sheet Size
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Drawn	Chk.	Job No.
JS	SC	6810
Drawing No.	Revision	
DA-2205	/ 4	

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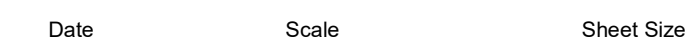
Rev	Date	Revision	By	Chk.
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PERIFIA

FLOOR PLAN -
RESIDENTIAL FLAT
BUILDING WEST - ROOF



Drawing No.	Revision
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3	01/03/2024	AMENDED DA	JS	JP

Client



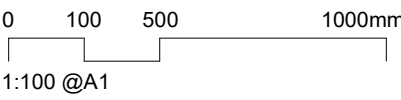
Project

PERIFA

20 Waterview St Putney 2112

Drawing Name

FLOOR PLAN -
RESIDENTIAL FLAT
BUILDING EAST - ROOF



Date	Scale	Sheet Size
01/03/2024	1 : 100	@ A1

Drawn	Chk.	Job No.
JS	SC	6810

Drawing No.	Revision
DA-2207	/ 3

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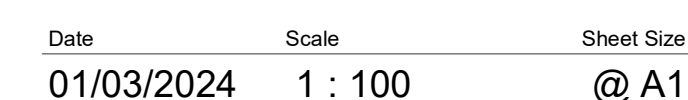
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1	08/09/2023	ISSUED FOR APPROVAL	JS	SC
2	01/03/2024	AMENDED DA	JS	JP

Client



Drawing Name

FLOOR PLAN - TERRACES
- BASEMENT 1



Date	Scale	Sheet Size
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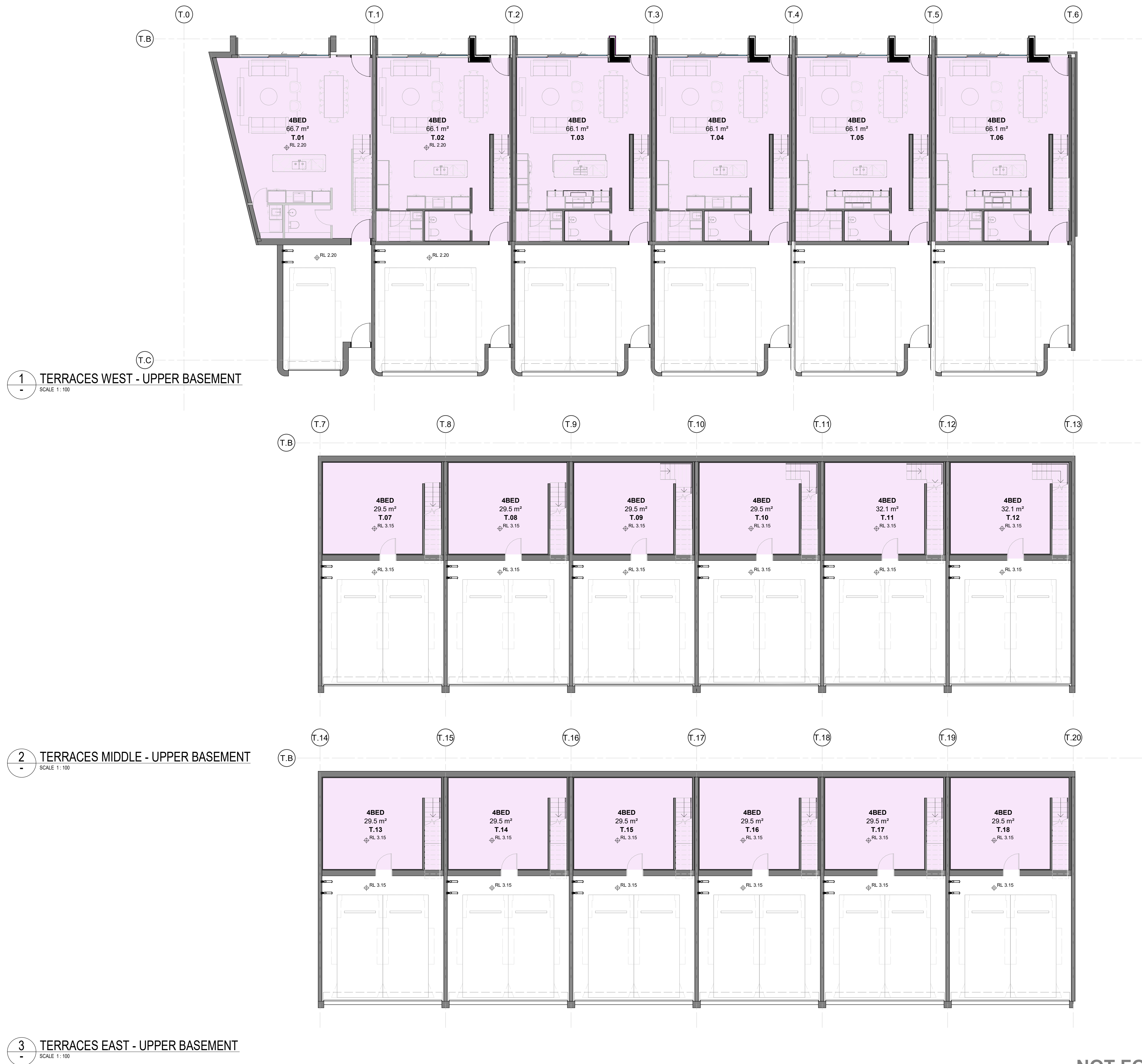
Drawn	Chk.	Job No.
JS	SC	6810

Drawing No.	Revision
DA 2300	1/2

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3	01/03/2024	AMENDED DA	JS	JP

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20 Waterview St Putney 2112

Drawing Name

FLOOR PLAN - TERRACES
- LEVEL 01

0 100 500 1000mm
1:100 @A1

Date	Scale	Sheet Size
01/03/2024	1 : 100	@ A1

Drawn	Chk.	Job No.
JS	SC	6810

Drawing No.	Revision
DA-2302	/ 3

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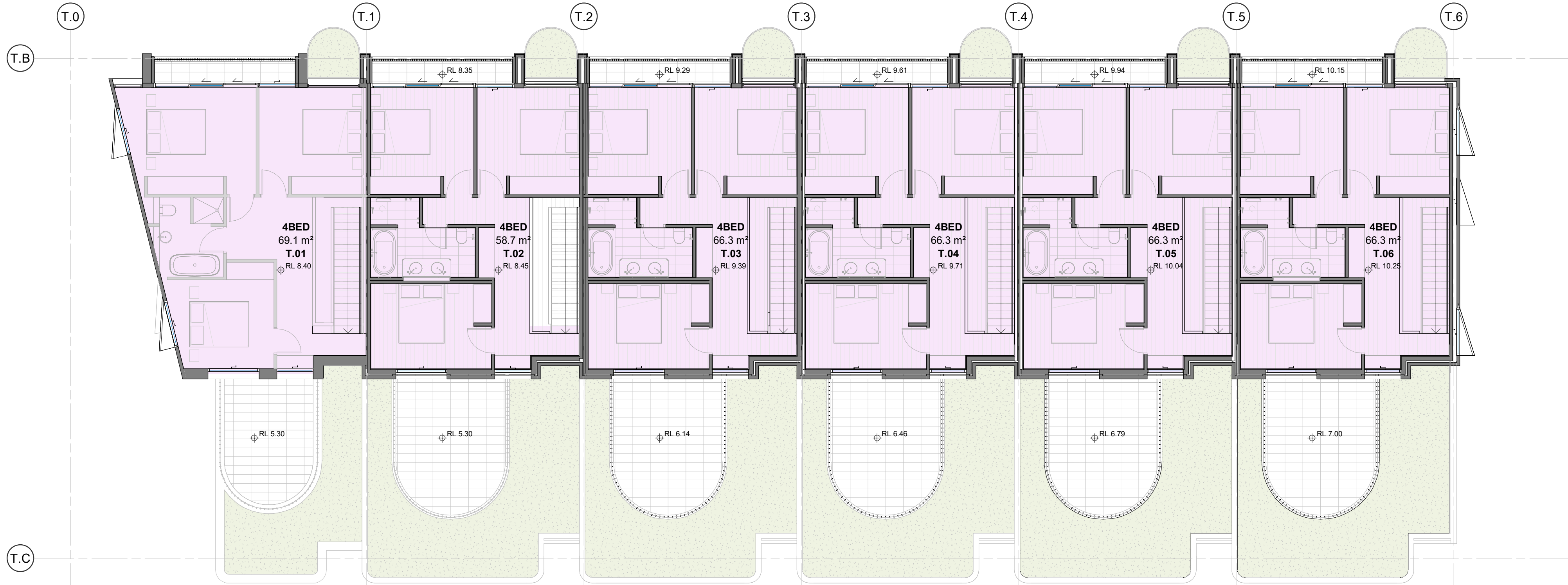
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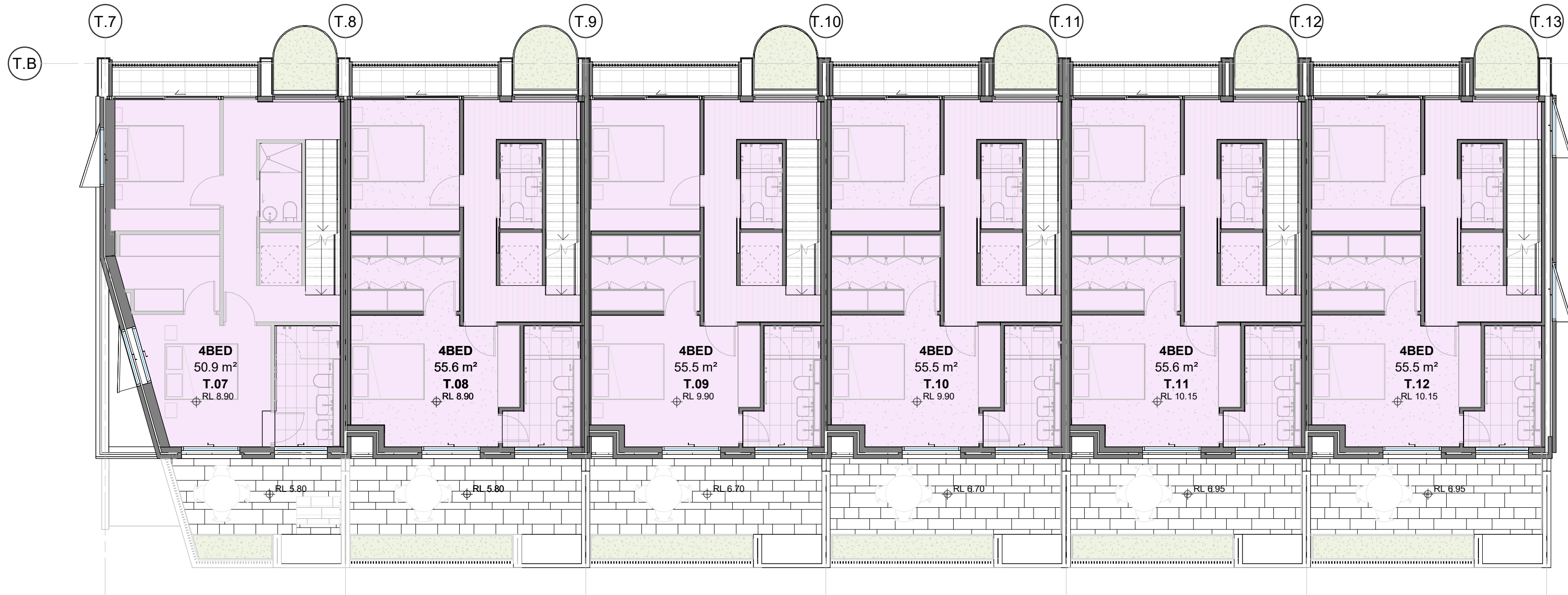


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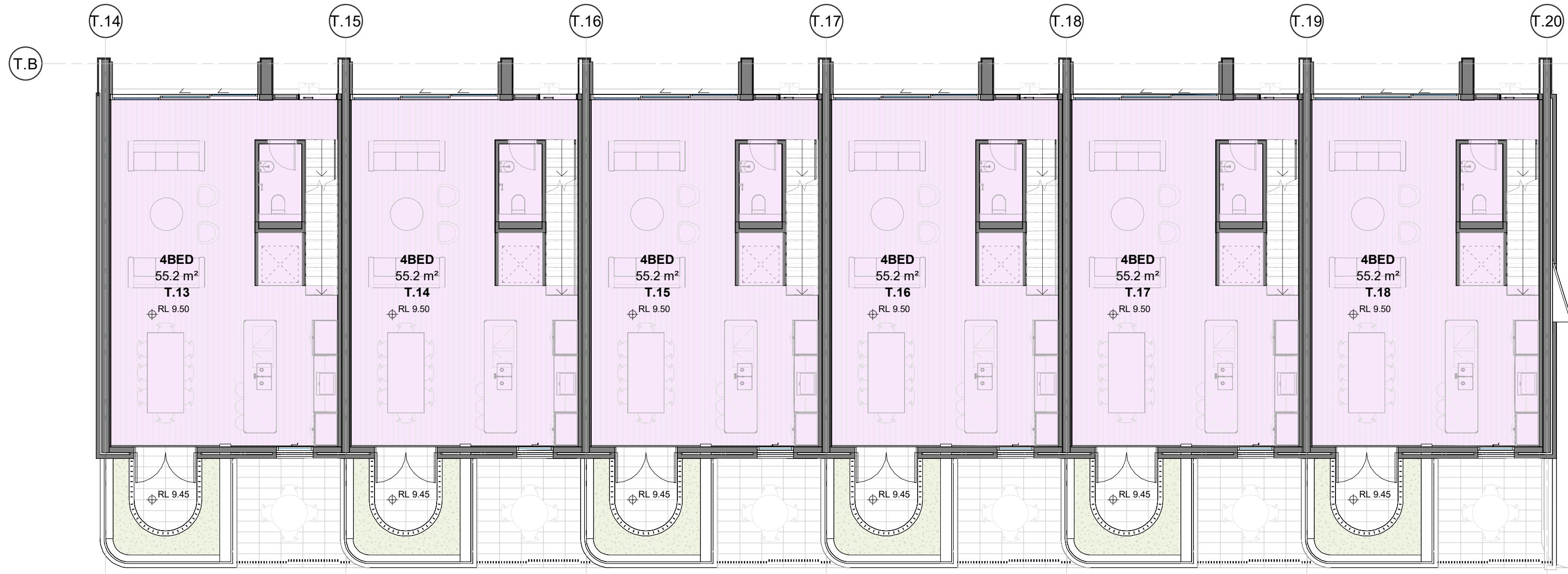
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SCALE 1:100



2 TERRACES MIDDLE - LEVEL 01

SCALE 1:100



3 TERRACES EAST - LEVEL 01

SCALE 1:100

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1	18/08/2023	DRAFT DA	JS	SC
2	08/09/2023	ISSUED FOR APPROVAL	JS	SC
3	01/03/2024	AMENDED DA	JS	JP

Client



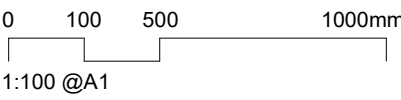
Project

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Drawing Name

FLOOR PLAN - TERRACES
- LEVEL 02



Date	Scale	Sheet Size
01/03/2024	1 : 100	@ A1

Drawn	Chk.	Job No.
JS	SC	6810

Drawing No.	Revision
DA-2303	/ 3

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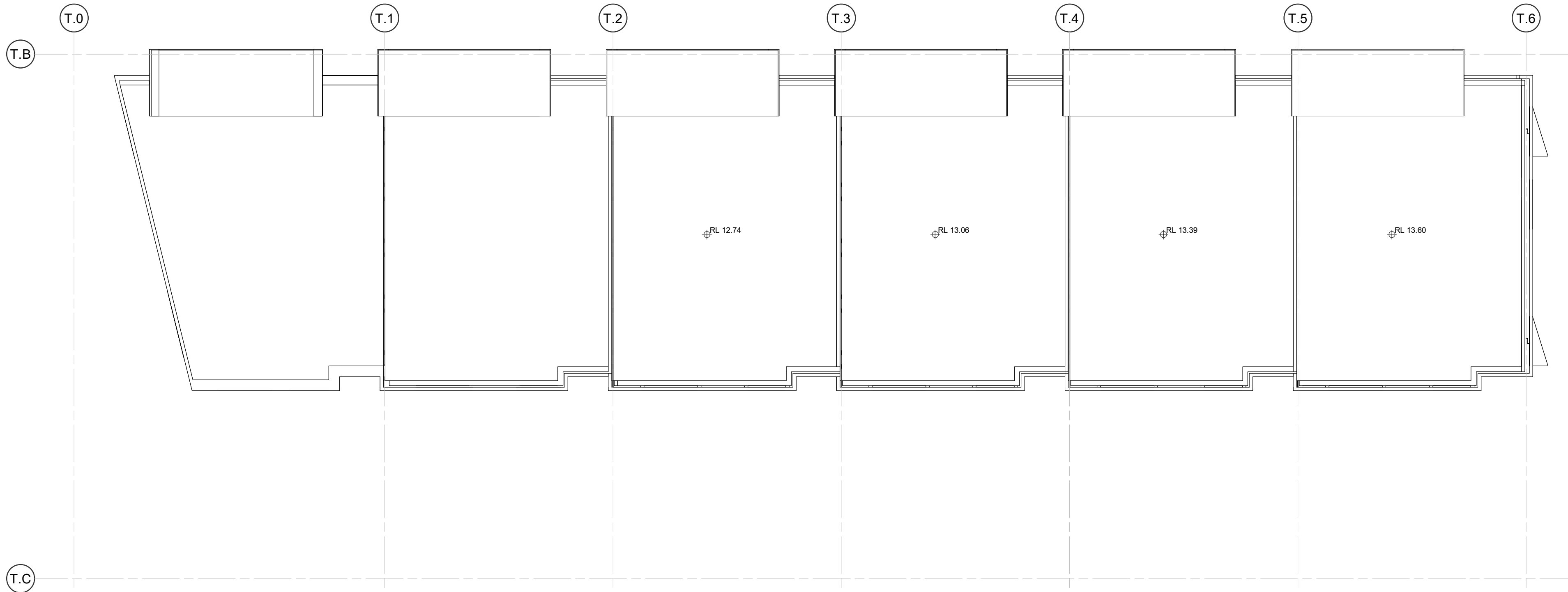
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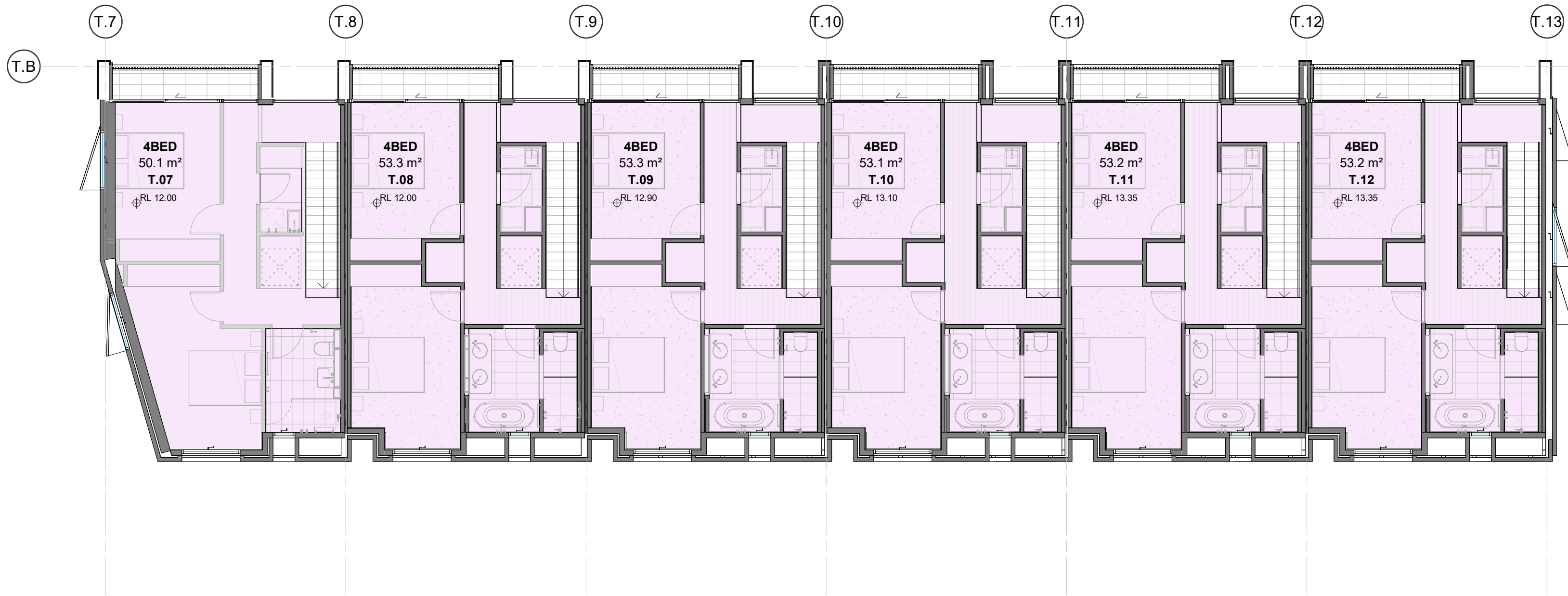
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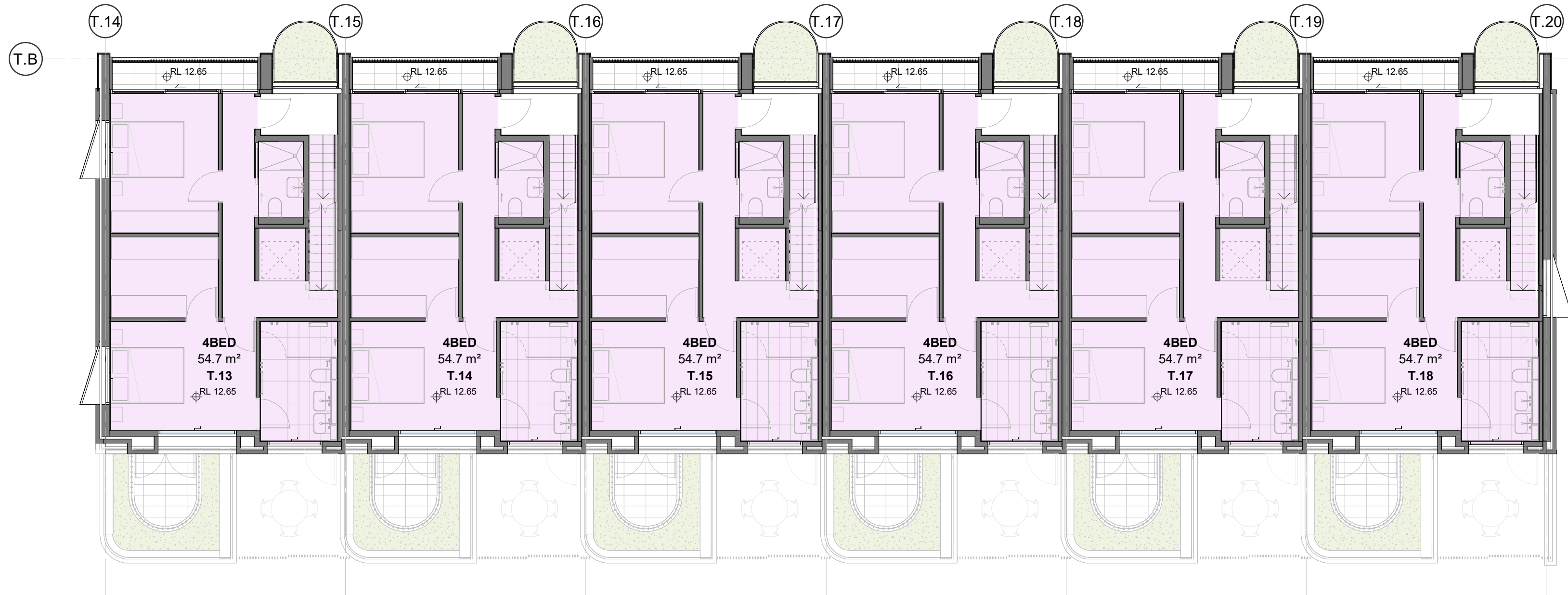
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1 TERRACES WEST - LEVEL 02
SCALE 1:100



2 TERRACES MIDDLE - LEVEL 02
SCALE 1:100



3 TERRACES EAST - LEVEL 02
SCALE 1:100

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3	01/03/2024	AMENDED DA	JS	JP

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FLOOR PLAN - TERRACES
- ROOF

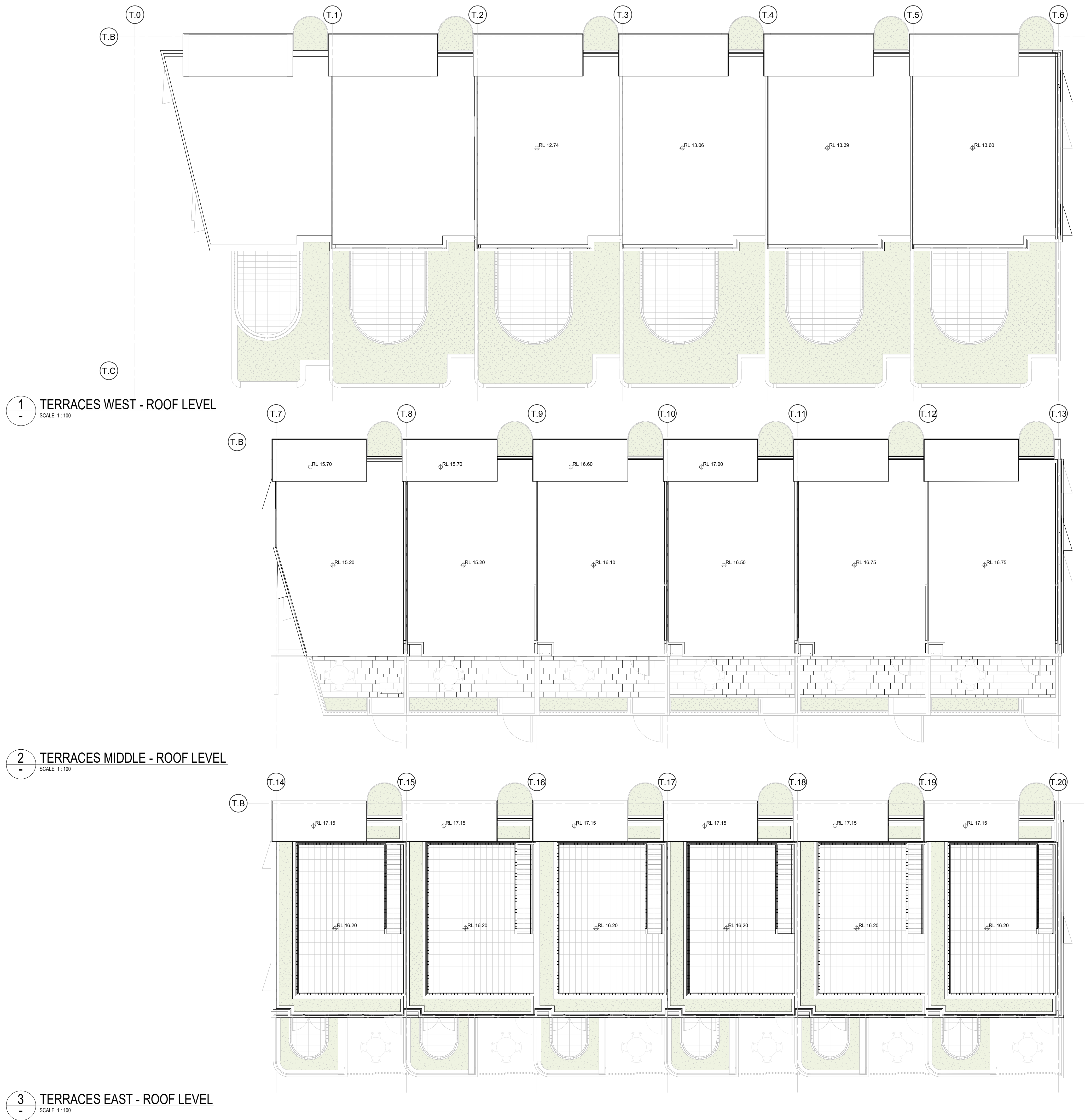


Drawing No.	Revision
DA-2304	/ 3

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1	18/08/2023	DRAFT DA	JS	SC
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3	01/03/2024	AMENDED DA	JS	JP

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Date	Scale	Sheet Size
01/03/2024		@ A1
Drawn	Chk.	Job No.
JS	SC	6810
Drawing No.	Revision	
DA-2501	/ 3	



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3	01/03/2024	AMENDED DA	JS	JP

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Project

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20 Waterview St Putney 2112

Drawing Name

PERSPECTIVE / RENDER

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JS	SC	6810
Drawing No.	Revision	
DA-2502	/ 3	

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2	08/09/2023	ISSUED FOR APPROVAL	JS	SC
3	01/03/2024	AMENDED DA	JS	JP

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Date	Scale	Sheet Size
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Drawn	Chk.	Job No.
JS	SC	6810
Drawing No.	Revision	
DA-2503	/ 3	



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Rev	Date	Revision	By	Chk.
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3	01/03/2024	AMENDED DA	JS	JP



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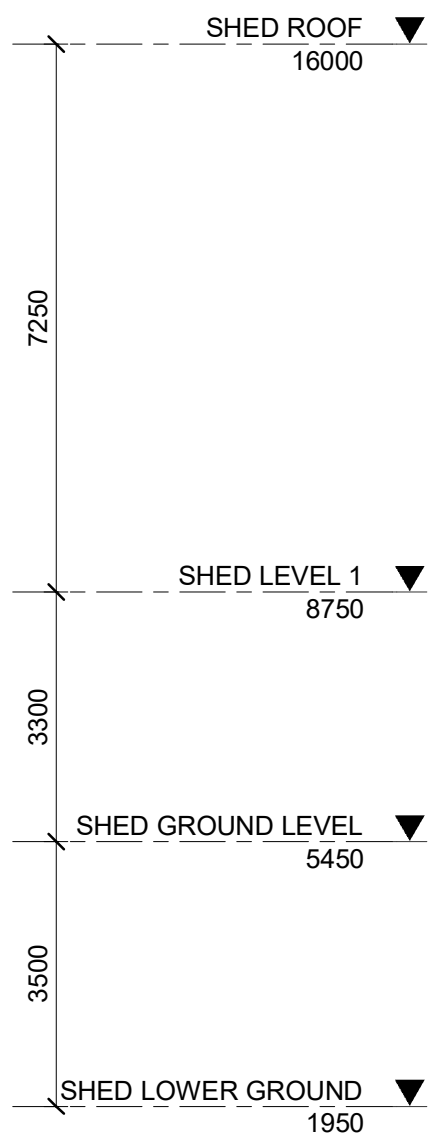
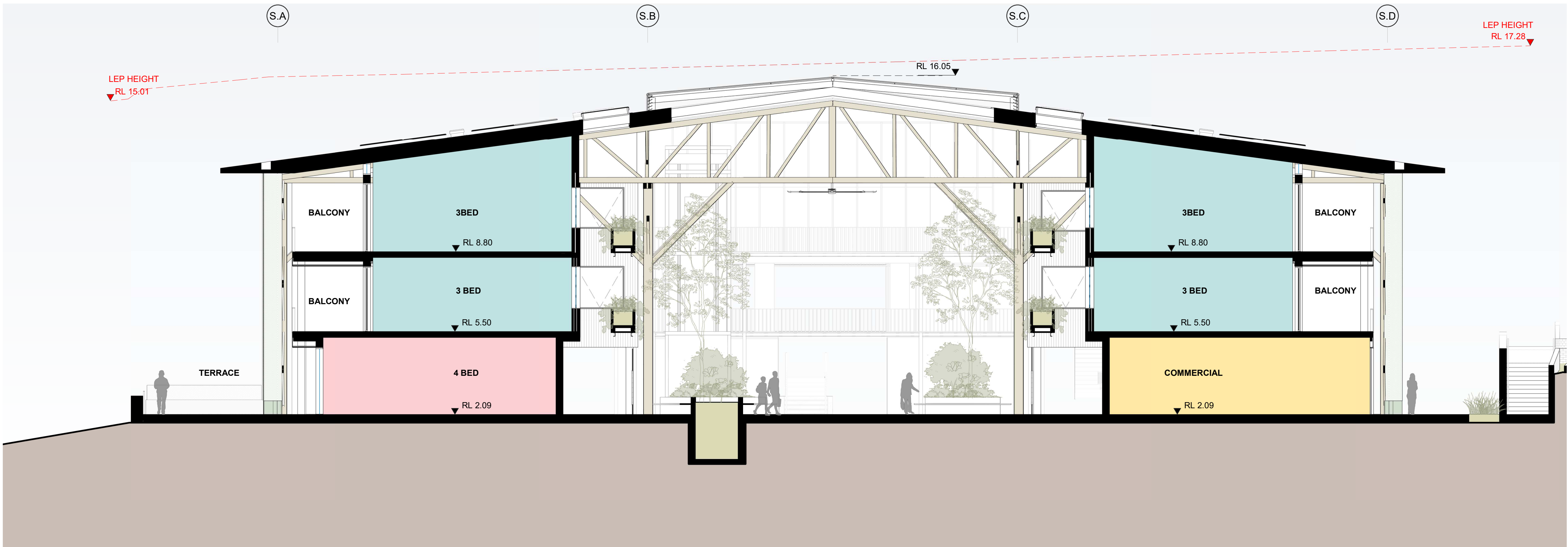
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PERIFA
20 Waterview St Putney 2112

Drawing Name

PERSPECTIVE / RENDER

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Drawing No.	Revision	
DA-2505	/ 3	



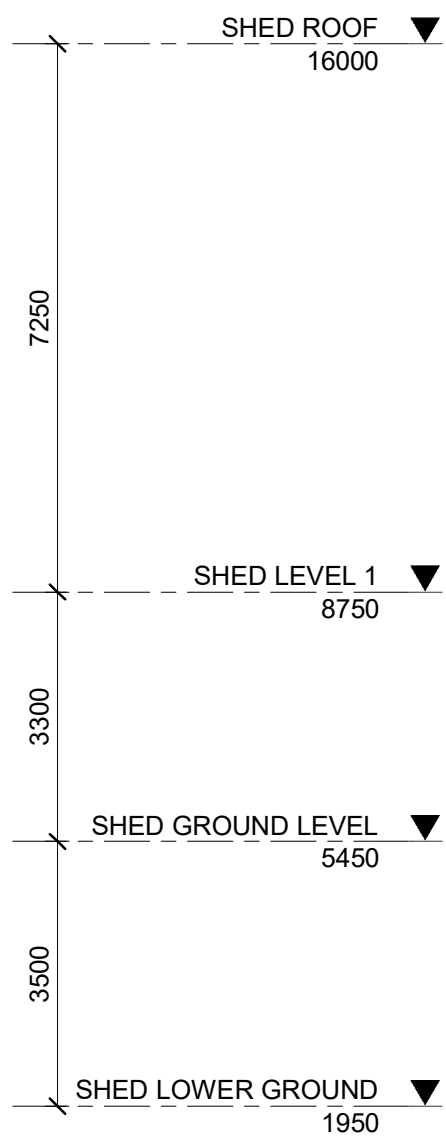
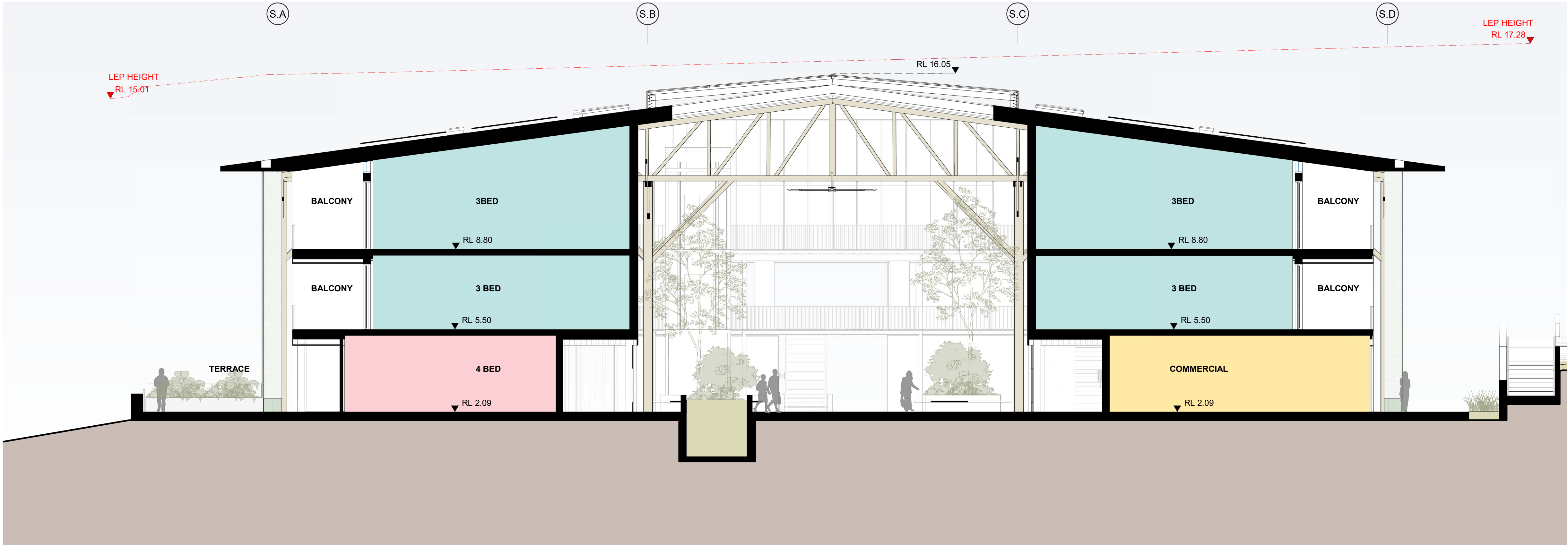
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1	30/06/2023	FOR COORDINATION	SH	SC
2	18/08/2023	DRAFT DA	JS	SC
3	08/09/2023	ISSUED FOR APPROVAL	JS	SC
4	01/03/2024	AMENDED DA	JS	JP

1 E-W SECTION THROUGH PLANTER NOTCH
SCALE 1 : 100



Client

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Project

PERIFA
20 Waterview St Putney 2112

Drawing Name

SECTION_SHED 01

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Date	Scale	Sheet Size
01/03/2024	1 : 100	@ A1

Drawn	Chk.	Job No.
JS	SC	6810

Drawing No.	Revision
DA-2600	/ 4

2 E-W SECTION THROUGH UNITS
SCALE 1 : 100

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1	30/06/2023	FOR COORDINATION	SH	SC
2	18/08/2023	DRAFT DA	JS	SC
3	08/09/2023	ISSUED FOR APPROVAL	JS	SC
4	01/03/2024	AMENDED DA	JS	JP



1 N-S SECTION THROUGH SHED
SCALE 1:100

Client

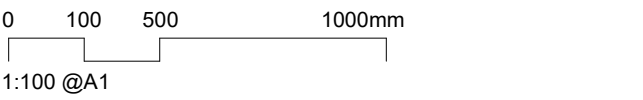


Project

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Drawing Name

SECTION_SHED 02



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DA-2601	/ 4	

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3	08/09/2023	ISSUED FOR APPROVAL	JS	SC
4	01/03/2024	AMENDED DA	JS	JP
5	08/05/2024	COUNCIL RFI	JS	SC

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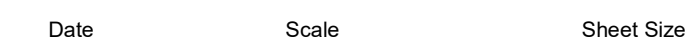
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Project

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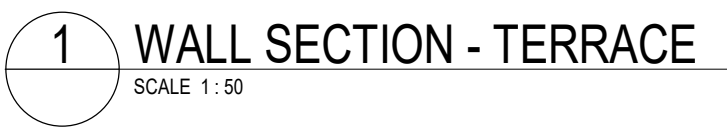
WALL SECTION - RFB



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Nominated Architects: Adam Haddow-7188 | John Pradel-7004

[illegible]

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Drawing No.	Revision
DA-2604	/ 1



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Nominated Architects: Adam Haddow-7188 | John Pradel-7004

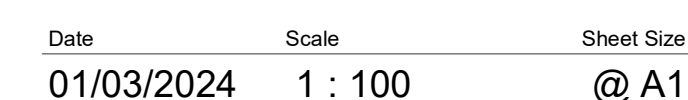
Rev	Date	Revision	By	Chk.
1	18/08/2023	DRAFT DA	JS	SC
2	08/09/2023	ISSUED FOR APPROVAL	JS	SC
3	01/03/2024	AMENDED DA	JS	JP



PERIFA
ABADEEN

Drawing Name

SHED ELEVATIONS -
EAST, WEST



Drawing No.	Revision
DA-3101	/ 3

953

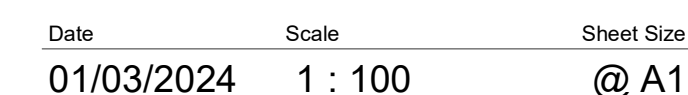
NOT FOR CONSTRUCTION

Nominated Architects: Adam Haddow-7188 | John Pradel-7004

Rev	Date	Revision	By	Chk.
1	18/08/2023	DRAFT DA	JS	SC
2	08/09/2023	ISSUED FOR APPROVAL	JS	SC
3	01/03/2024	AMENDED DA	JS	JP

Client

20 Waterview St Putney 2112

RFB EAST ELEVATIONS -
NORTH, SOUTH

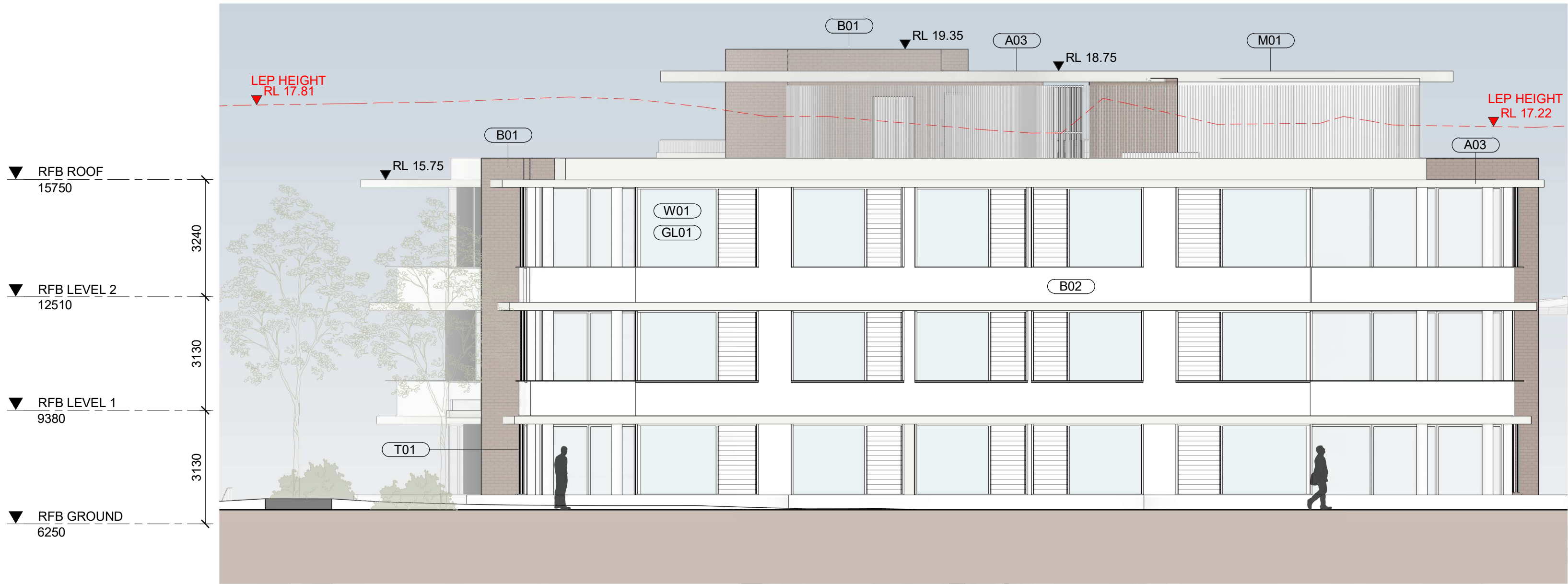
Drawing No.	Revision
DA-3200	/ 3



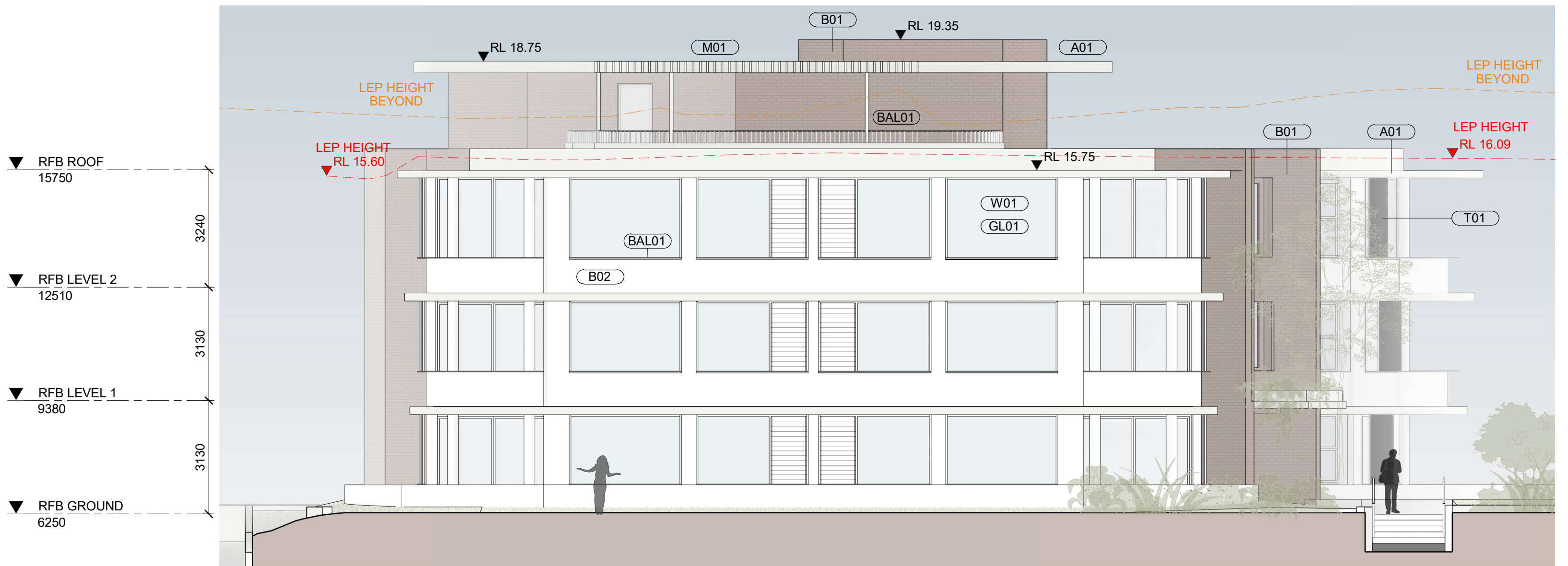
NOT FOR CONSTRUCTION

FOR APPROVAL

Rev	Date	Revision	By	Chk.
1	18/08/2023	DRAFT DA	JS	SC
2	08/09/2023	ISSUED FOR APPROVAL	JS	SC
3	01/03/2024	AMENDED DA	JS	JP



1 RFB WEST - NORTH ELEVATION
SCALE 1:100



2 RFB WEST - SOUTH ELEVATION
SCALE 1:100

Client

PERIFA
ABADEEN

Project

PERIFA
20 Waterview St Putney 2112

Drawing Name

RFB WEST ELEVATIONS -
NORTH, SOUTH

0 100 500 1000mm
1:100 @A1

Date Scale Sheet Size
01/03/2024 1 : 100 @ A1

Drawn Chk. Job No.
JS SC 6810

Drawing No. Revision
DA-3201 / 3



Nominated Architects: Adam Haddow-7188 | John Pradel-7004

Rev	Date	Revision	By	Chk.
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[illegible]

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PERIFIA

RFB EAST ELEVATIONS -
EAST, WEST

Drawing No.	Revision
DA 3202	/ 3



NOT FOR CONSTRUCTION

Nominated Architects: Adam Haddow-7188 | John Pradel-7004

Rev	Date	Revision	By	Chk.
1	18/08/2023	DRAFT DA	JS	SC
2	08/09/2023	ISSUED FOR APPROVAL	JS	SC
3	01/03/2024	AMENDED DA	JS	JP

Client

20 Waterview St Putney 2112

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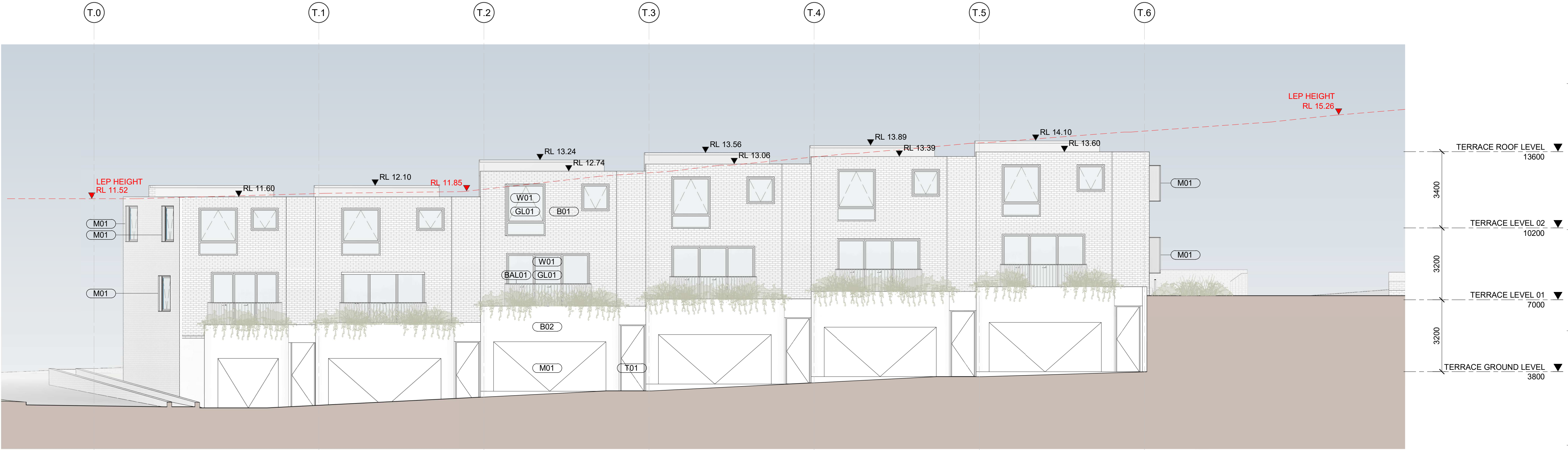
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Rev	Date	Revision	By	Chk.
1	18/08/2023	DRAFT DA	JS	SC
2	08/09/2023	ISSUED FOR APPROVAL	JS	SC
3	01/03/2024	AMENDED DA	JS	JP



1 TERRACES WEST - NORTH ELEVATION
SCALE 1:100



2 TERRACES WEST - SOUTH ELEVATION
SCALE 1:100

Client

PERIFA
ABADEEN

Project
PERIFA
20 Waterview St Putney 2112

Drawing Name
**TERRACES WEST
ELEVATIONS - NORTH,
SOUTH**

0 100 500 1000mm
1:100 @A1

Date Scale Sheet Size
01/03/2024 1 : 100 @ A1

Drawn Chk. Job No.
JS SC 6810

Drawing No. Revision
DA-3300 / 3



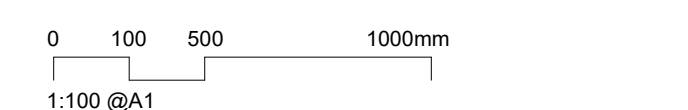
Nominated Architects: Adam Haddow-7188 | John Pradel-7004

Rev	Date	Revision	By	Chk.
1	18/08/2023	DRAFT DA	JS	SC
2	08/09/2023	ISSUED FOR APPROVAL	JS	SC
3	01/03/2024	AMENDED DA	JS	JP

Client _____

Drawing Name

TERRACES MIDDLE
ELEVATIONS - NORTH,
SOUTH



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Rev	Date	Revision	By	Chk.
1	18/08/2023	DRAFT DA	JS	SC
2	08/09/2023	ISSUED FOR APPROVAL	JS	SC
3	01/03/2024	AMENDED DA	JS	JP

Client _____

Drawing Name

Drawing No.	Revision
DA-3302	/ 3

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Nominated Architects: Adam Haddow-7188 | John Pradel-7004

Rev	Date	Revision	By	Chk.
1	18/08/2023	DRAFT DA	JS	SC
2	08/09/2023	ISSUED FOR APPROVAL	JS	SC
3	01/03/2024	AMENDED DA	JS	JP

Client

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Rev	Date	Revision	By	Chk.
1	18/08/2023	DRAFT DA	JS	SC
2	08/09/2023	ISSUED FOR APPROVAL	JS	SC
3	01/03/2024	AMENDED DA	JS	JP

Client



Project

PERIFA

20 Waterview St Putney 2112

Drawing Name

BUILDING ENVELOPE
DIAGRAMS

0 0.3 1.5 3m
1:300 @A1

Date Scale Sheet Size
01/03/2024 As indicated @ A1

Drawn Chk. Job No.
JS SC 6810

Drawing No. Revision
DA-3501 / 3

LEGEND
PROPOSED BUILDING
ENVELOPE
PROPOSED AWNING
OVERHANG

Nominated Architects: Adam Haddow-7188 | John Pradel-7004

Rev	Date	Revision	By	Chk.
1	08/09/2023	ISSUED FOR APPROVAL	JS	SC
2	01/03/2024	AMENDED DA	JS	JP



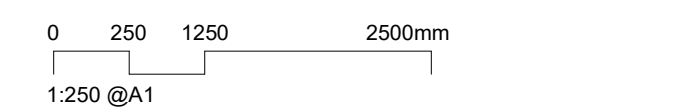
Project

PERIFIA

20 Waterview St Putney 2112

Drawing Name

BUILDING ENVELOPE
DIAGRAMS



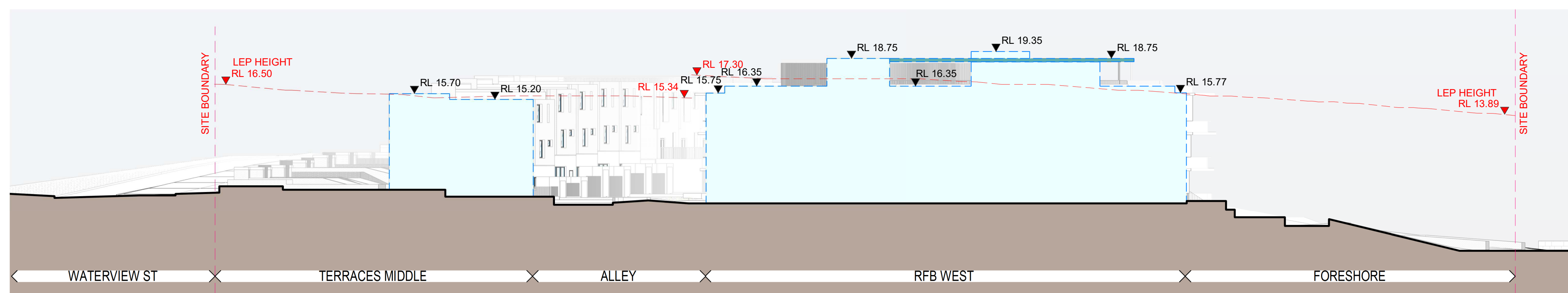
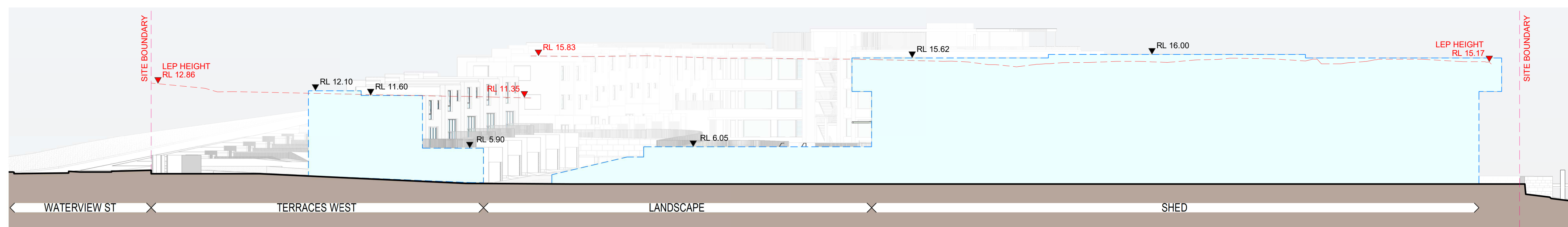
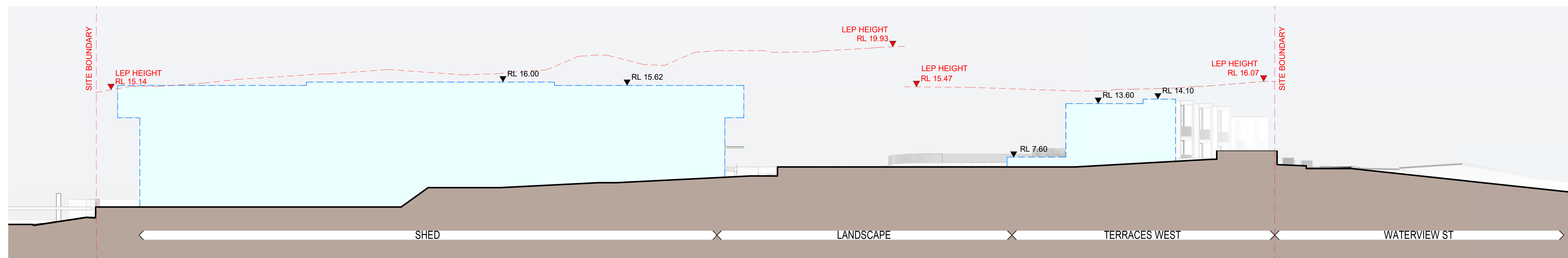
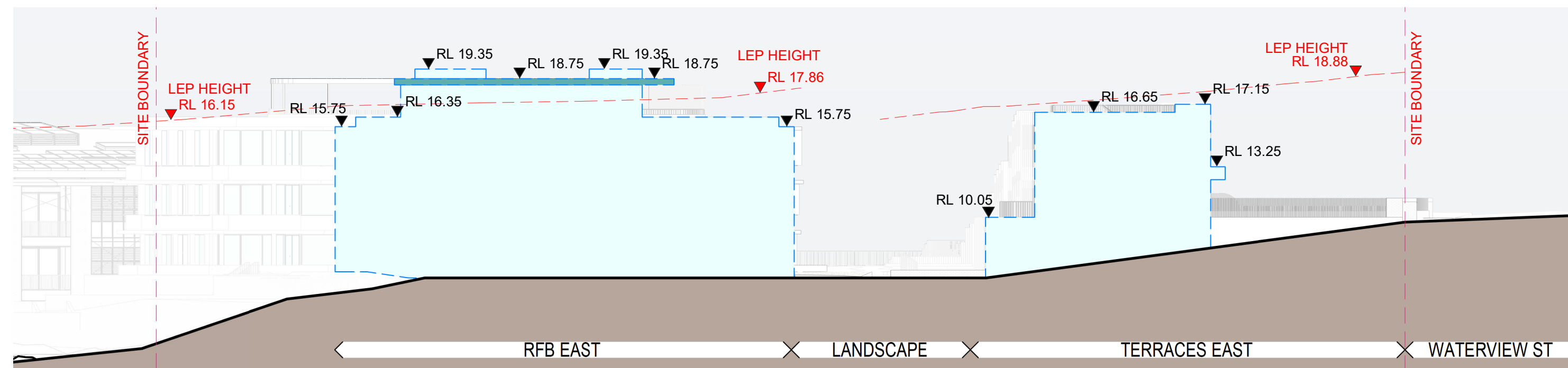
Date	Scale	Sheet Size
01/03/2024	As indicated	@ A1
Drawn	Chk.	Job No.
JS	SC	6810

Drawing No.	Revision
DA-3502	/ 2

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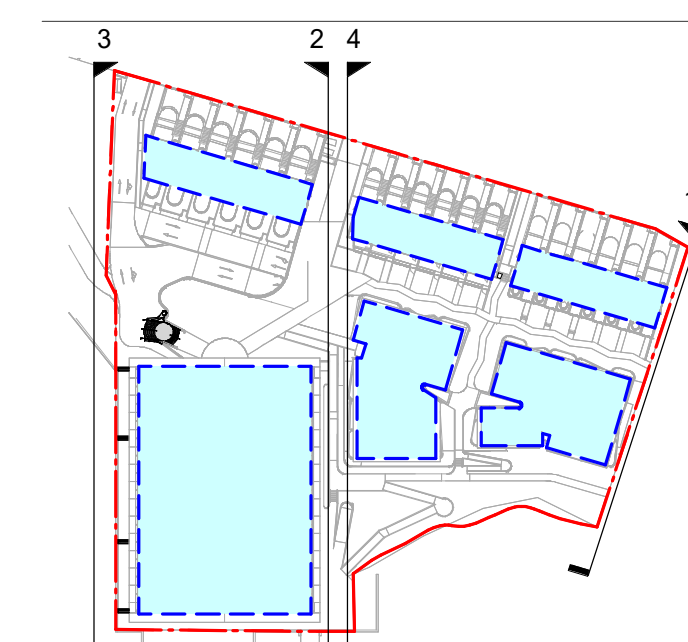
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Rev	Date	Revision	By	Chk.
1	18/08/2023	DRAFT DA	JS	SC
2	08/09/2023	ISSUED FOR APPROVAL	JS	SC
3	01/03/2024	AMENDED DA	JS	JP



Client _____

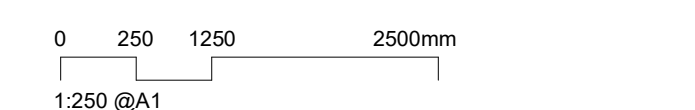
ABADEEN

Project

PERIFIA

20 Waterview St Putney 2112

Drawing Name

BUILDING ENVELOPE
DIAGRAMS

Date	Scale	Sheet Size
01/03/2024	As indicated	@ A1
Drawn	Chk.	Job No.
JS	SC	6810

Drawn	Chk.	Job No.
JS	SC	6810

Drawing No.	Revision
DA-3503	/ 3

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Nominated Architects: Adam Haddow-7188 | John Pradel-7004

Rev	Date	Revision	By	Chk.
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[illegible]

PERIFA
ABADEEN

PERIFIA

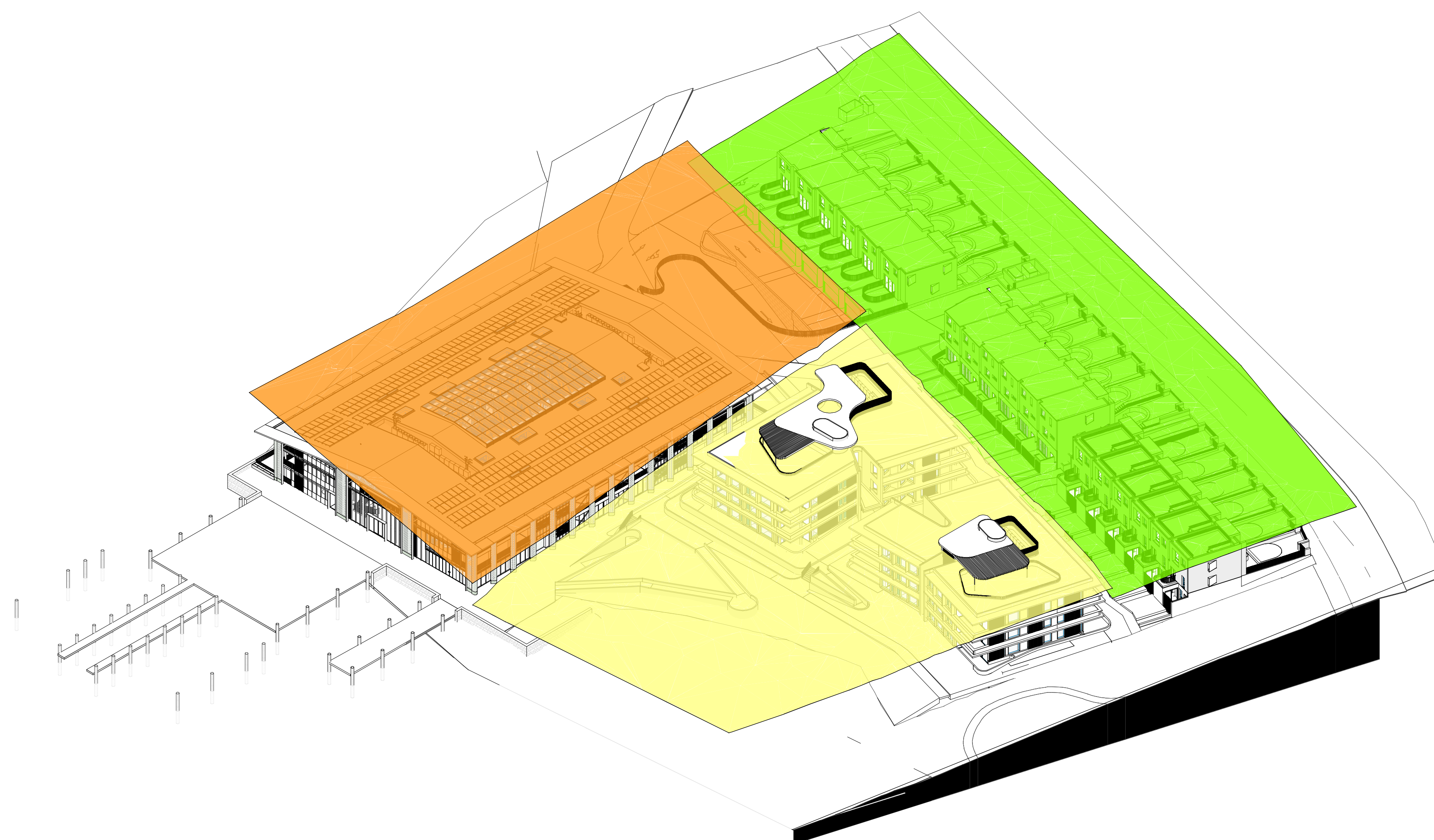
BUILDING ENVELOPE DIAGRAMS - 3D HEIGHT ANALYSIS

Drawing No.	Revision
DA-3510	/ 2

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LEGEND

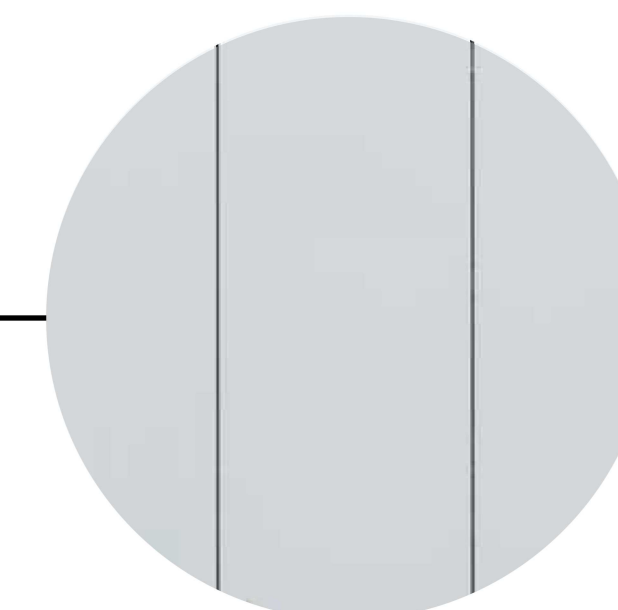
- LEP 14m HEIGHT PLANE
- LEP 11.5m HEIGHT PLANE
- LEP 9.5m HEIGHT PLANE

1 LEP HEIGHT PLANE AXO
SCALE

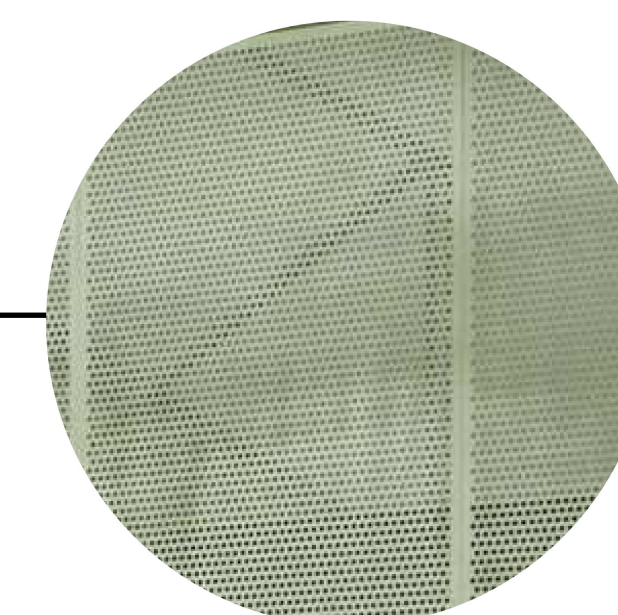
Nominated Architects: Adam Haddow-7188 | John Pradel-7004

Rev	Date	Revision	By	Chk.
1	08/09/2023	ISSUED FOR APPROVAL	JS	SC
2	01/03/2024	AMENDED DA	JS	JP

ROOF AS INDICATED ON
ELEVATIONS



ROOF OVERHANG PERIMETER
EDGE AS INDICATED ON
ELEVATIONS



EXTERNAL PERFORATED
SCREENS AS INDICATED ON
ELEVATIONS



WINDOW FRAMES AS
INDICATED ON ELEVATIONS



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20 Waterview St Putney 2112

EXTERNAL FINISHES 01

Drawing No.	Revision
DA-5001	/ 2

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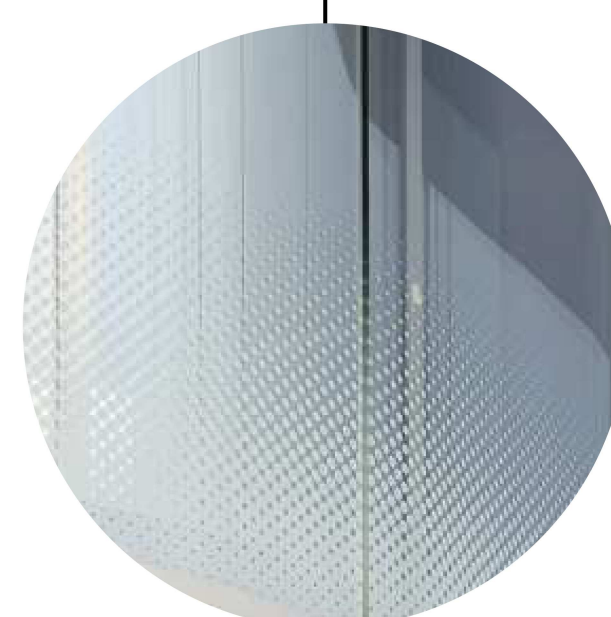
EXPOSED SUB-FRAMING
SUPPORTING EXTERNAL
PERFORATED SCREENS



SEA WALLS



FACADE AS INDICATED ON
ELEVATIONS

NORTHERN AND SOUTHERN
FACADE

ALL FACADES

Nominated Architects: Adam Haddow-7188 | John Pradel-7004

Rev	Date	Revision	By	Chk.
1	08/09/2023	ISSUED FOR APPROVAL	JS	SC
2	01/03/2024	AMENDED DA	JS	JP

EXTERIOR TERRACES AS
INDICATED ON ELEVATIONS

ALL FACADES

20 Waterview St Putney 2112

EXTERNAL FINISHES 02

DA-5002 / 2

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TERRACE'S FENCING, ENTRY
GATE, ROLLER DOORS AS
INDICATED ON ELEVATIONS



LANDSCAPE

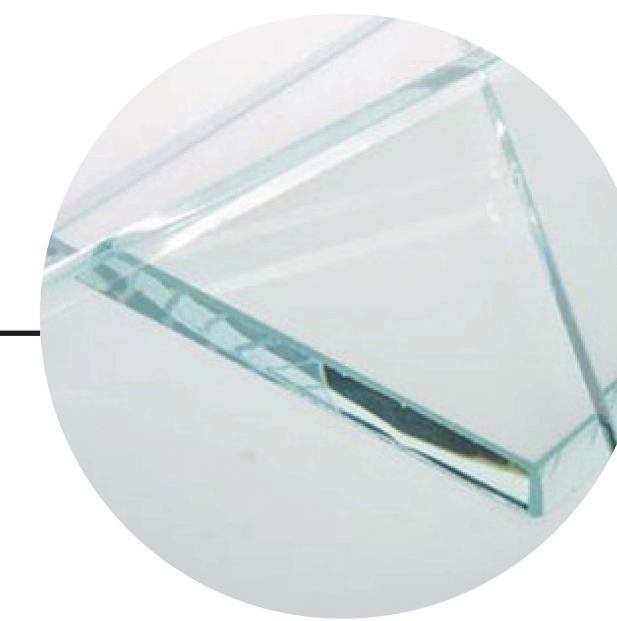
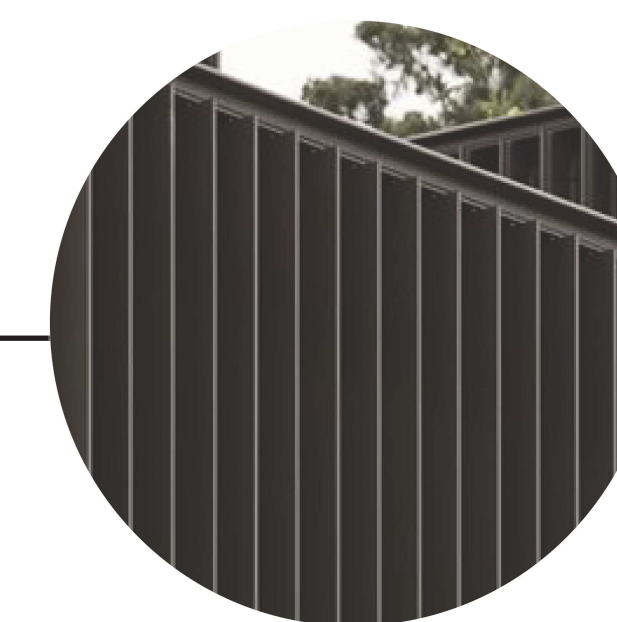


SCREENS, ENTRY DOORS,
WAYFINDING AS INDICATED ON
THE ELEVATIONS

EXTERIOR TERRACES AS
INDICATED ON ELEVATIONS



WINDOW FRAMES AS
INDICATED ON ELEVATIONS



Nominated Architects: Adam Haddow-7188 | John Pradel-7004

Rev	Date	Revision	By	Chk.
1	08/09/2023	ISSUED FOR APPROVAL	JS	SC
2	01/03/2024	AMENDED DA	JS	JP

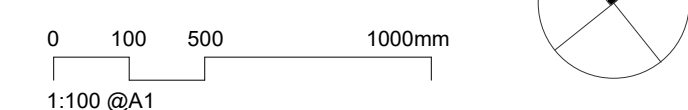
PERGOLAS TO THE RFB,
BALUSTRADES, ENTRY GATES,
STEEL PALISADE FENCING

BALCONY UPSTANDS,
TERRACES-BASE WAL

SLAB EDGES

20 Waterview St Putney 2112

EXTERNAL FINISHES 03



Drawing No.	Revision
DA-5003	/ 2

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DRIVEWAYS / BASEMENT WALLS



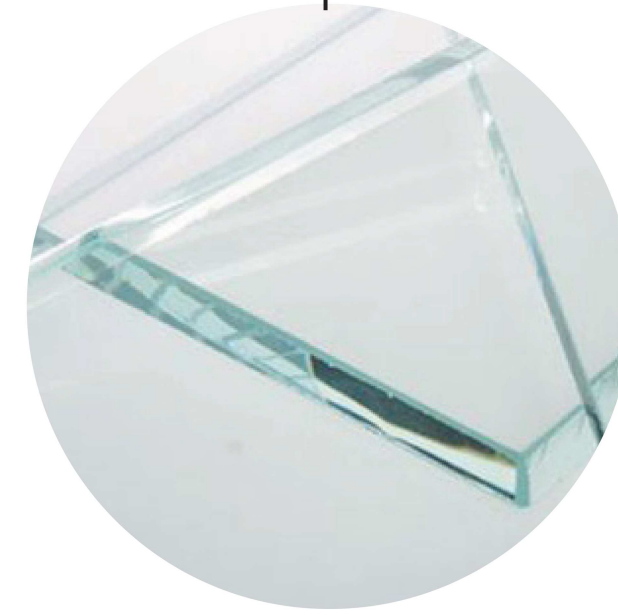
FACADE AS INDICATED ON
ELEVATIONS



WINDOW FRAMES AS
INDICATED ON ELEVATIONS



SCREENS, ENTRY DOORS,
WAYFINDING AS INDICATED ON
THE ELEVATIONS



ALL FACADES

Nominated Architects: Adam Haddow-7188 | John Pradel-7004

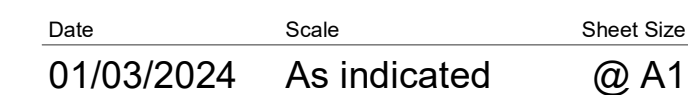
Rev	Date	Revision	By	Chk.
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[illegible]

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PERIFIA

SOLAR COMPLIANCE -
SHEET 01



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RFB GROUND	R.G.01	2H
RFB GROUND	R.G.02	2H
RFB GROUND	R.G.03	2H
RFB GROUND	R.G.05	2H
RFB GROUND	R.G.06	2H
RFB GROUND	R.G.07	2H
RFB GROUND	R.G.09	2H
RFB GROUND	R.G.10	2H
RFB LEVEL 1	R.1.01	2H
RFB LEVEL 1	R.1.02	2H
RFB LEVEL 1	R.1.03	2H
RFB LEVEL 1	R.1.05	2H
RFB LEVEL 1	R.1.06	2H
RFB LEVEL 1	R.1.07	2H
RFB LEVEL 1	R.1.09	2H
RFB LEVEL 1	R.1.10	2H
RFB LEVEL 2	R.2.01	2H
RFB LEVEL 2	R.2.02	2H
RFB LEVEL 2	R.2.03	2H
RFB LEVEL 2	R.2.05	2H
RFB LEVEL 2	R.2.06	2H
RFB LEVEL 2	R.2.07	2H
RFB LEVEL 2	R.2.09	2H
RFB LEVEL 2	R.2.10	2H
SHED GROUND LEVEL	S.G.01	2H
SHED GROUND LEVEL	S.G.02	2H
SHED GROUND LEVEL	S.G.03	2H
SHED GROUND LEVEL	S.G.03	2H
SHED GROUND LEVEL	S.G.04	2H
SHED GROUND LEVEL	S.G.11	2H
SHED GROUND LEVEL	S.G.12	2H
SHED GROUND LEVEL	S.R.08	2H
SHED LEVEL 1	S.1.01	2H
SHED LEVEL 1	S.1.02	2H
SHED LEVEL 1	S.1.03	2H
SHED LEVEL 1	S.1.04	2H
SHED LEVEL 1	S.1.04	2H



NA	LESS THAN 15 MINUTES SUNLIGHT TO LIVING ROOM AND PRIVATE OPEN SPACE RECIEVED ON 21 JUNE BETWEEN 9AM - 3PM.
----	--

- LIVING ROOMS AND PRIVATE OPEN SPACES OF AT LEAST 70% OF APARTMENTS IN A BUILDING RECEIVE A MINIMUM OF 2 HOURS DIRECT SUNLIGHT BETWEEN 9AM AND 3PM IN MID WINTER.

- A MAXIMUM OF 15% OF APARTMENTS IN A BUILDING RECIEVE NO DIRECT SUNLIGHT BETWEEN 9AM AND 3PM AT MID WINTER.

73% (36 UNITS) OF ALL RESIDENTIAL UNITS RECEIVE A MINIMUM OF 2 HOURS OF SUNLIGHT TO LIVING ROOM AND PRIVATE OPEN SPACES.

Nominated Architects: Adam Haddow-7188 | John Pradel-7004

Rev	Date	Revision	By	Chk.
-----	------	----------	----	------

[illegible]

Project

20 Waterview St Putney 2112



0 0.5 2.5 5m
1:500 @A1

A circular symbol with a vertical line through the center, likely representing a north arrow or a specific orientation marker.

Drawing No.	Revision
DA-6002	/ 2

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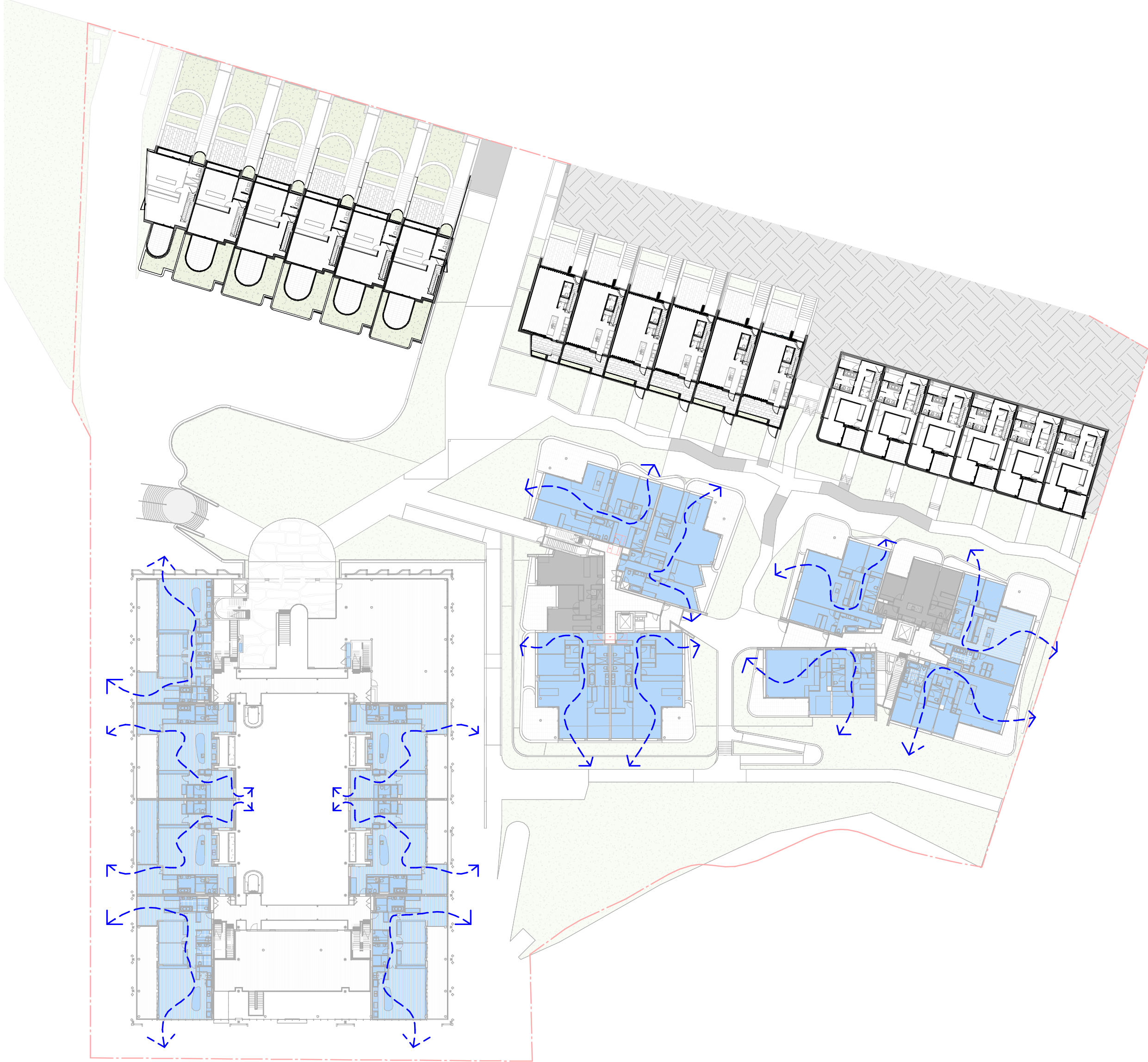
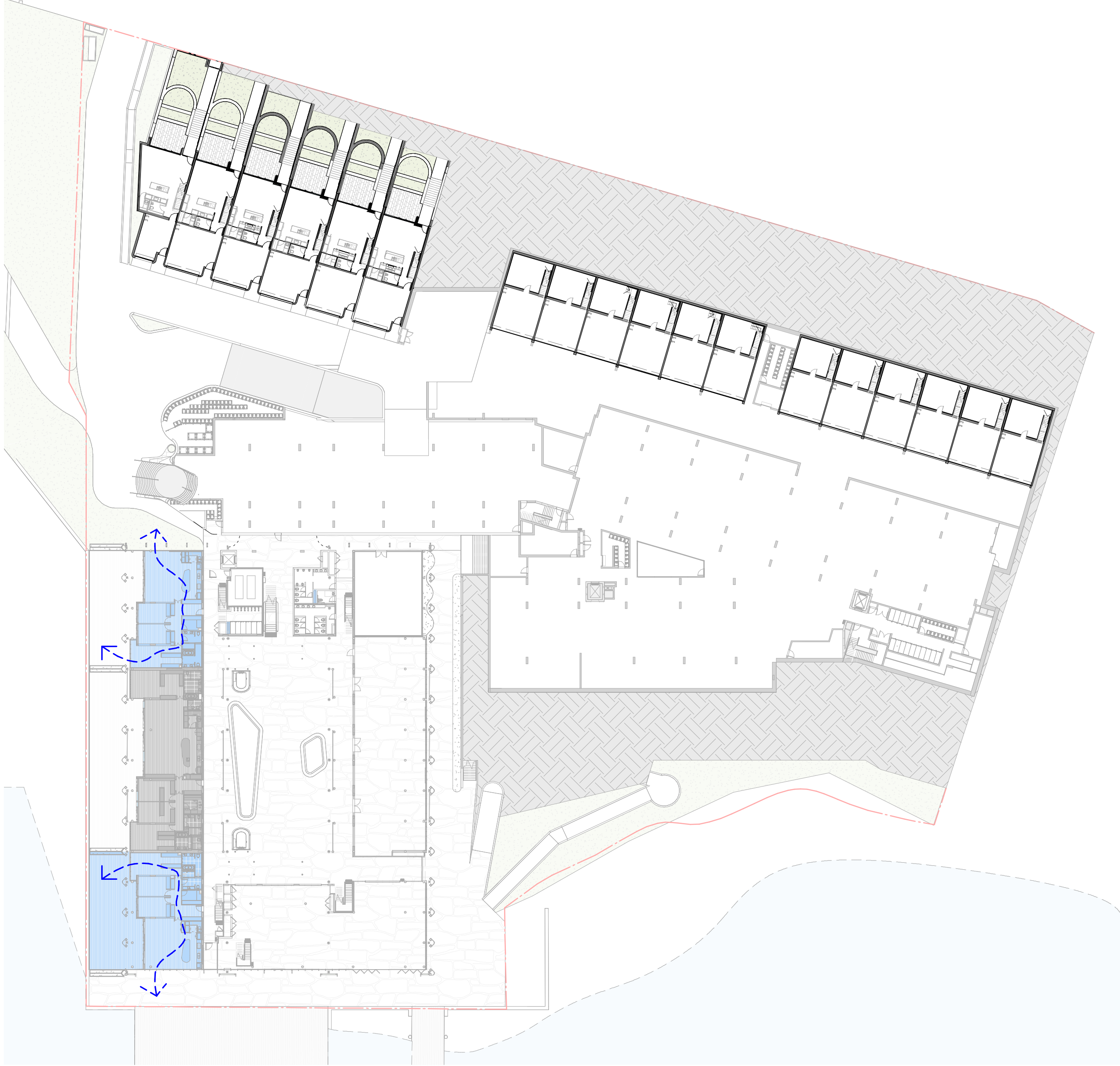
RFB GROUND	R.G.01	2H
RFB GROUND	R.G.02	2H
RFB GROUND	R.G.03	2H
RFB GROUND	R.G.05	2H
RFB GROUND	R.G.06	2H
RFB GROUND	R.G.07	2H
RFB GROUND	R.G.09	2H
RFB GROUND	R.G.10	2H
RFB LEVEL 1	R.1.01	2H
RFB LEVEL 1	R.1.02	2H
RFB LEVEL 1	R.1.03	2H
RFB LEVEL 1	R.1.05	2H
RFB LEVEL 1	R.1.06	2H
RFB LEVEL 1	R.1.07	2H
RFB LEVEL 1	R.1.09	2H
RFB LEVEL 1	R.1.10	2H
RFB LEVEL 2	R.2.01	2H
RFB LEVEL 2	R.2.02	2H
RFB LEVEL 2	R.2.03	2H
RFB LEVEL 2	R.2.05	2H
RFB LEVEL 2	R.2.06	2H
RFB LEVEL 2	R.2.07	2H
RFB LEVEL 2	R.2.09	2H
RFB LEVEL 2	R.2.10	2H
SHED GROUND LEVEL	S.G.01	2H
SHED GROUND LEVEL	S.G.02	2H
SHED GROUND LEVEL	S.G.03	2H
SHED GROUND LEVEL	S.G.03	2H
SHED GROUND LEVEL	S.G.04	2H
SHED GROUND LEVEL	S.G.11	2H
SHED GROUND LEVEL	S.G.12	2H
SHED GROUND LEVEL	S.R.08	2H
SHED LEVEL 1	S.1.01	2H
SHED LEVEL 1	S.1.02	2H
SHED LEVEL 1	S.1.03	2H
SHED LEVEL 1	S.1.04	2H
SHED LEVEL 1	S.1.04	2H



73% (36 UNITS) OF ALL RESIDENTIAL UNITS RECEIVE A MINIMUM OF 2 HOURS OF SUNLIGHT TO LIVING ROOM AND PRIVATE OPEN SPACES.

FOR APPROVAL

Rev	Date	Revision	By	Chk.
1	18/08/2023	DRAFT DA	JS	SC
2	08/09/2023	ISSUED FOR APPROVAL	JS	SC
3	01/03/2024	AMENDED DA	JS	JP



1 LOWER BASEMENT LEVEL CROSS VENT
SCALE 1: 500

CROSS VENT COMPLIANCE		
Level	Apartment Number	Cross Vent

RFB GROUND	R.G.01	YES
RFB GROUND	R.G.03	YES
RFB GROUND	R.G.04	YES
RFB GROUND	R.G.05	YES
RFB GROUND	R.G.06	YES
RFB GROUND	R.G.07	YES
RFB GROUND	R.G.08	YES
RFB GROUND	R.G.09	YES
RFB LEVEL 1	R.1.01	YES
RFB LEVEL 1	R.1.03	YES
RFB LEVEL 1	R.1.04	YES
RFB LEVEL 1	R.1.05	YES
RFB LEVEL 1	R.1.06	YES
RFB LEVEL 1	R.1.07	YES
RFB LEVEL 1	R.1.08	YES
RFB LEVEL 1	R.1.09	YES
RFB LEVEL 2	R.2.01	YES
RFB LEVEL 2	R.2.03	YES
RFB LEVEL 2	R.2.04	YES
RFB LEVEL 2	R.2.05	YES
RFB LEVEL 2	R.2.06	YES
RFB LEVEL 2	R.2.07	YES
RFB LEVEL 2	R.2.08	YES
RFB LEVEL 2	R.2.09	YES

CROSS VENT COMPLIANCE		
Level	Apartment Number	Cross Vent

SHED GROUND LEVEL	S.G.01	YES
SHED GROUND LEVEL	S.G.02	YES
SHED GROUND LEVEL	S.G.03	YES
SHED GROUND LEVEL	S.G.03	YES
SHED GROUND LEVEL	S.G.04	YES
SHED GROUND LEVEL	S.G.06	YES
SHED GROUND LEVEL	S.G.07	YES
SHED GROUND LEVEL	S.G.08	YES
SHED GROUND LEVEL	S.G.11	YES
SHED GROUND LEVEL	S.G.12	YES
SHED GROUND LEVEL	S.R.08	YES
SHED LEVEL 1	S.1.01	YES
SHED LEVEL 1	S.1.02	YES
SHED LEVEL 1	S.1.03	YES
SHED LEVEL 1	S.1.04	YES
SHED LEVEL 1	S.1.05	YES
SHED LEVEL 1	S.1.06	YES
SHED LEVEL 1	S.1.06	YES
SHED LEVEL 1	S.1.07	YES
SHED LEVEL 1	S.1.08	YES
SHED LEVEL 1	S.1.09	YES
SHED LEVEL 1	S.1.12	YES
SHED LEVEL 1	S.1.13	YES
SHED LEVEL 1	S.1.27	YES
SHED LEVEL 1	S.R.07	YES
SHED LOWER GROUND	S.LG.01	YES
SHED LOWER GROUND	S.LG.03	YES
SHED LOWER GROUND	S.LG.03	YES
SHED LOWER GROUND	S.LG.17	YES
SHED LOWER GROUND	S.LG.24	YES

Grand total: 55

2 GROUND LEVEL CROSS VENT
SCALE 1: 500

LEGEND

YES	CROSS VENTILATION ACHIEVED
NO	CROSS VENTILATION NOT ACHIEVED

ADG DESIGN CRITERIA

- AT LEAST 60% OF APARTMENTS ARE NATURALLY CROSS VENTILATED IN THE FIRST NINE STOREYS OF THE BUILDING.

APARTMENT ACHIEVING NATURAL CROSS VENTILATION
= 41 / 49
= 84%

Client



Project

PERIFA

20 Waterview St Putney 2112

Drawing Name

CROSS VENTILATION
COMPLIANCE - SHEET 01



Date	Scale	Sheet Size
01/03/2024	As indicated	@ A1

Drawn	Chk.	Job No.
JS	SC	6810

Drawing No.	Revision
DA-7001	/ 3

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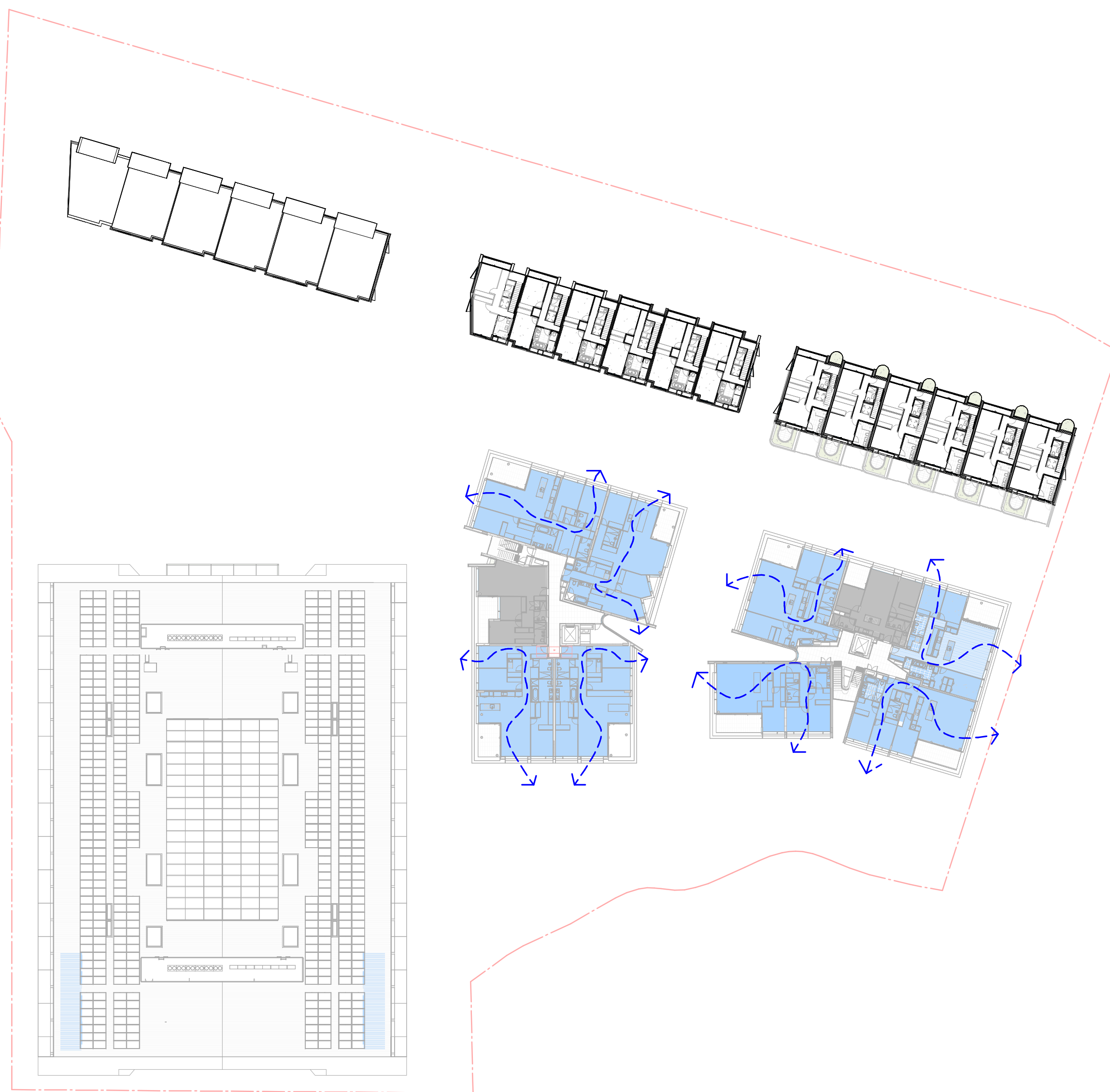
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NOT FOR CONSTRUCTION

Nominated Architects: Adam Haddow-7188 | John Pradel-7004

Rev	Date	Revision	By	Chk.
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[illegible]

SCALE 1:500

RFB GROUND	R.G.01	YES
RFB GROUND	R.G.03	YES
RFB GROUND	R.G.04	YES
RFB GROUND	R.G.05	YES
RFB GROUND	R.G.06	YES
RFB GROUND	R.G.07	YES
RFB GROUND	R.G.08	YES
RFB GROUND	R.G.09	YES
RFB LEVEL 1	R.1.01	YES
RFB LEVEL 1	R.1.03	YES
RFB LEVEL 1	R.1.04	YES
RFB LEVEL 1	R.1.05	YES
RFB LEVEL 1	R.1.06	YES
RFB LEVEL 1	R.1.07	YES
RFB LEVEL 1	R.1.08	YES
RFB LEVEL 1	R.1.09	YES
RFB LEVEL 2	R.2.01	YES
RFB LEVEL 2	R.2.03	YES
RFB LEVEL 2	R.2.04	YES
RFB LEVEL 2	R.2.05	YES
RFB LEVEL 2	R.2.06	YES
RFB LEVEL 2	R.2.07	YES
RFB LEVEL 2	R.2.08	YES
RFB LEVEL 2	R.2.09	YES

Grand total: 55

SCALE 1 : 500

YES CROSS VENTILATION ACHIEVED

NO CROSS VENTILATION NOT ACHIEVED

- AT LEAST 60% OF APARTMENTS ARE NATURALLY CROSS VENTILATED IN THE FIRST NINE STOREYS OF THE BUILDING.

APARTMENT ACHIEVING NATURAL CROSS VENTILATION
= 41 / 49
= 84%

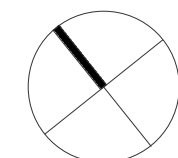


PERIFA
ABADEEN

PERIFIA

20 Waterview St Putney 2112

CROSS VENTILATION
COMPLIANCE - SHEET 02



Drawing No.	Revision
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Rev	Date	Revision	By	Chk.
1	18/08/2023	DRAFT DA	JS	SC
2	08/09/2023	ISSUED FOR APPROVAL	JS	SC
3	01/03/2024	AMENDED DA	JS	JP

Client



Project

PERIFA

20 Waterview St Putney 2112

Drawing Name

DEEP SOIL

0 0.5 2.5 5m
1:500 @A1

Date	Scale	Sheet Size
01/03/2024	As indicated	@ A1
Drawn	Chk.	Job No.
JS	SC	6810
Drawing No.	Revision	
DA-8001	/ 3	

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1 DEEP SOIL AREAS
SCALE 1:500

LEGEND



DEEP SOIL SUMMARY

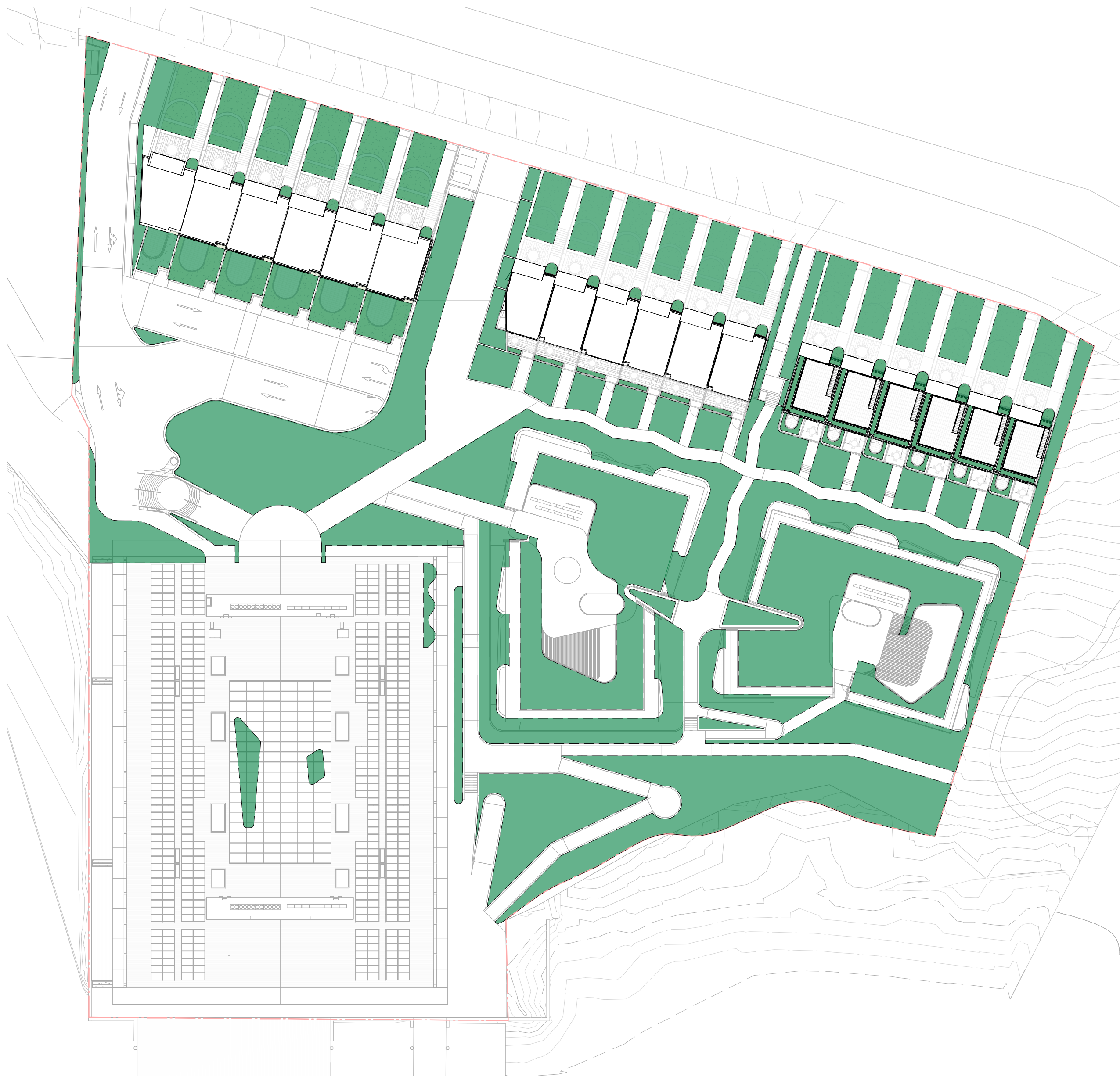
TOTAL SITE AREA: 15870 m²
REQUIRED DEEP SOIL (7%): 1111 m²

TOTAL PROPOSED DEEP SOIL: 1636 m² (10%)

LANDSCAPE SUMMARY

TOTAL SITE AREA: 15870 m²
REQUIRED LANDSCAPE (30%): 4761 m²

TOTAL PROPOSED LANDSCAPE: 5516 m² (35%)



2 LANDSCAPED AREAS
SCALE 1:500

FOR APPROVAL

Rev	Date	Revision	By	Chk.
1	18/08/2023	DRAFT DA	JS	SC
2	08/09/2023	ISSUED FOR APPROVAL	JS	SC
3	01/03/2024	AMENDED DA	JS	JP

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20 Waterview St Putney 2112

Drawing Name

COMMUNAL SPACE



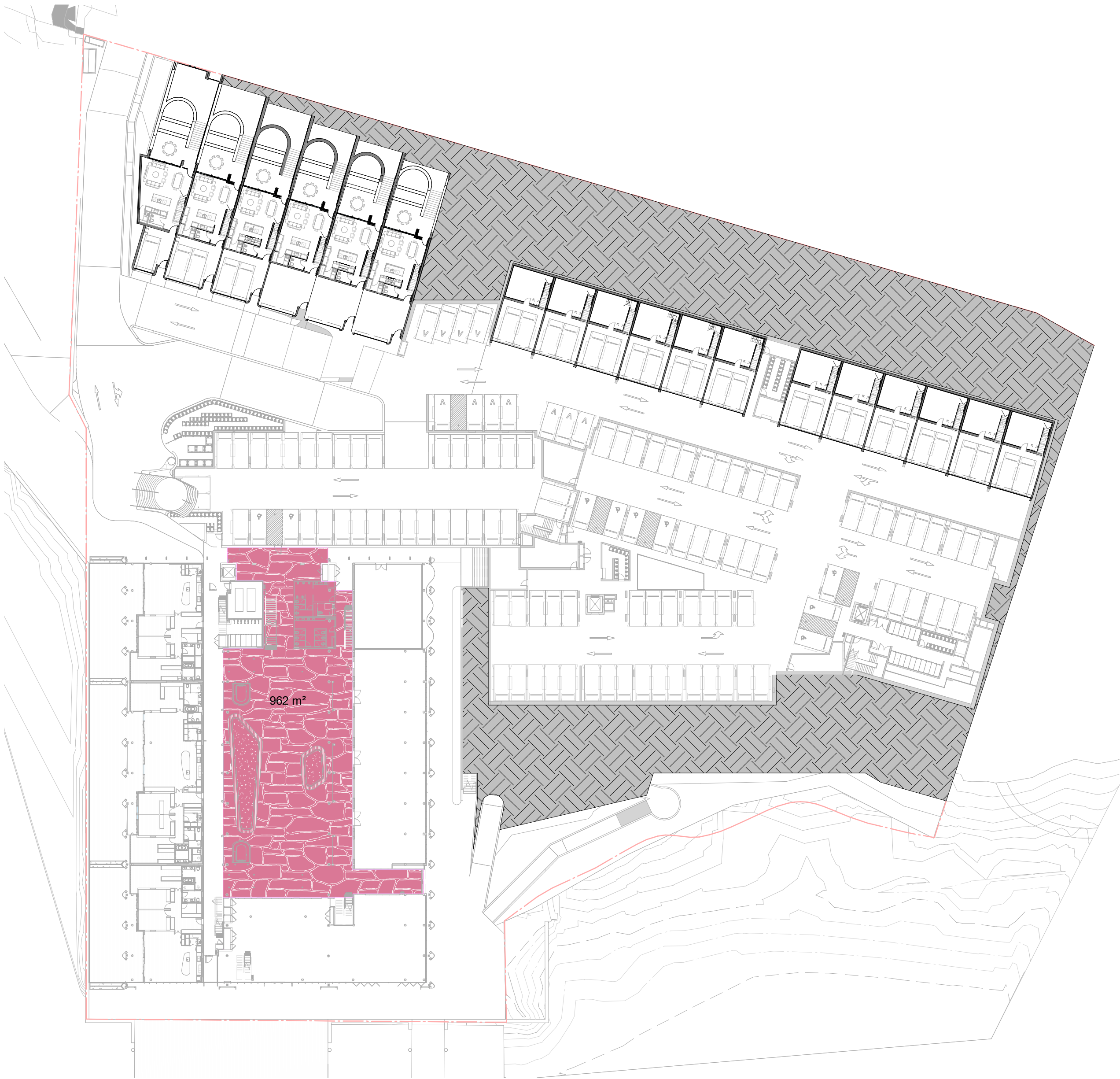
Date	Scale	Sheet Size
01/03/2024	As indicated	@ A1
Drawn	Chk.	Job No.
JS	SC	6810
Drawing No.	Revision	
DA-8002	/ 3	

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1 UPPER BASEMENT LEVEL - COMMUNAL OPEN SPACE
SCALE 1:500

LEGEND

PUBLIC SPACE	SEMI-PUBLIC SPACE	COMMUNAL SPACE
--------------	-------------------	----------------

COMMUNAL OPEN SPACE SUMMARY

TOTAL SITE AREA:	15870 m ²
SITE AREA EXCLUDING TERRACES:	12292 m ²
REQUIRED COMMUNAL OPEN SPACE (25%)	3073 m ²
PROPOSED PUBLIC SPACE	
GROUND LEVEL	5518 m ² (44.8%)
PROPOSED SEMI-PUBLIC SPACE	
UPPER BASEMENT LEVEL	962 m ² (7.8%)
PROPOSED COMMUNAL SPACE	
ROOF LEVEL	359 m ² (3%)
TOTAL COMMUNAL OPEN SPACE	6839 m ² (55.6%)



2 ROOF LEVEL - COMMUNAL OPEN SPACE
SCALE 1:500

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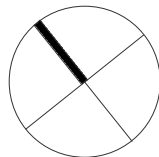
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Drawing Name

LAND USE DIAGRAM

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1:500 @A1

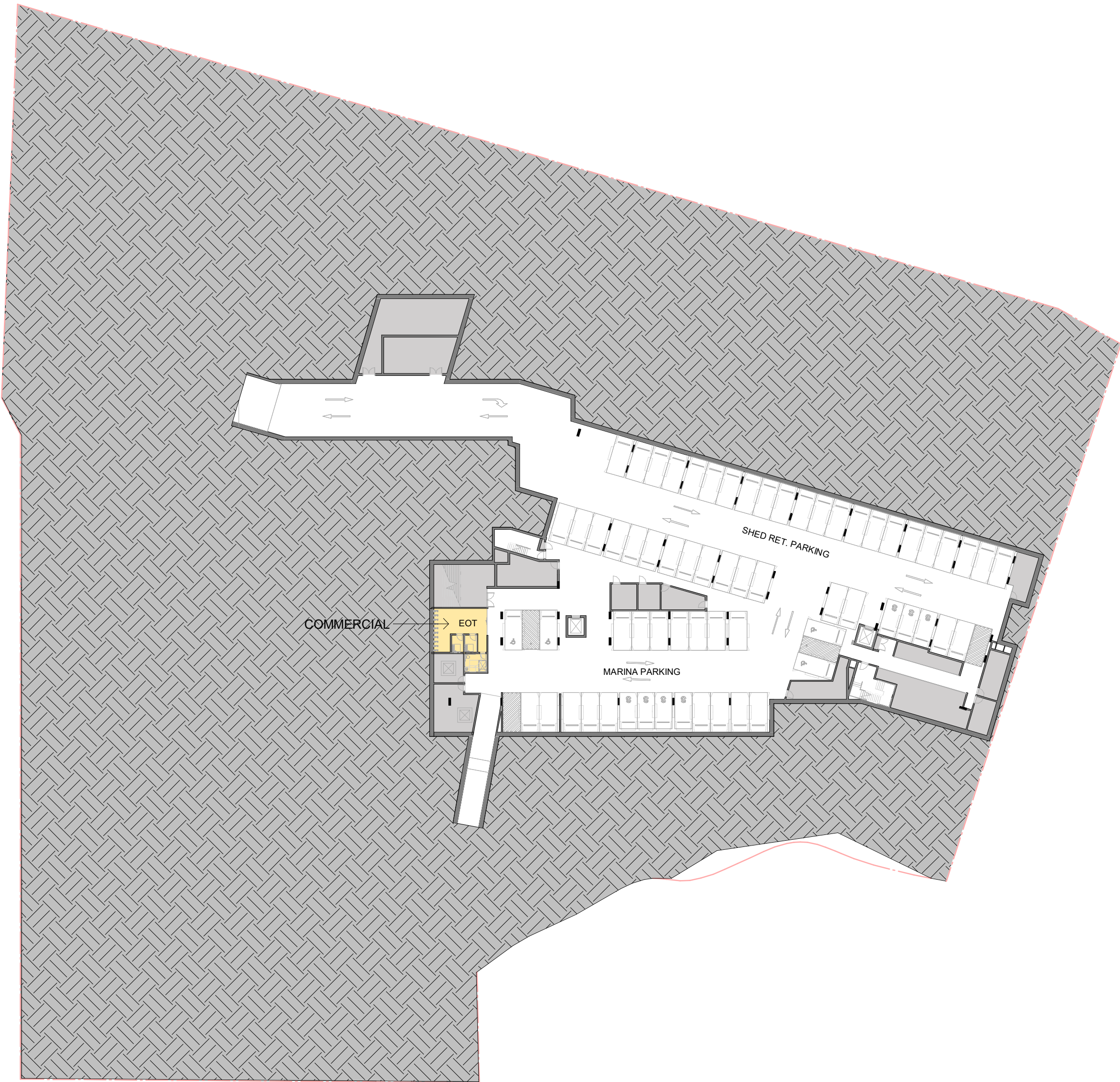


Date	Scale	Sheet Size
01/03/2024	1 : 500	@ A1
Drawn	Chk.	Job No.
JS	SC	6810
Drawing No.	Revision	
DA-8010	/ 3	

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1 LOWER BASEMENT_LAND USE
DA-1500 SCALE 1: 500

2 UPPER BASEMENT_LAND USE
DA-1500 SCALE 1: 500

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1	18/08/2023	DRAFT DA	JS	SC
2	08/09/2023	ISSUED FOR APPROVAL	JS	SC
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Drawing Name

LAND USE DIAGRAM



Date	Scale	Sheet Size
01/03/2024	1 : 500	@ A1
Drawn	Chk.	Job No.
JS	SC	6810
Drawing No.	Revision	
DA-8011	/ 3	

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1 GROUND LEVEL LAND USE
DA-0302 SCALE 1 : 500



2 LEVEL 1 LAND USE
DA-1100 SCALE 1 : 500

FOR APPROVAL

Rev	Date	Revision	By	Chk.
1	18/08/2023	DRAFT DA	JS	SC
2	08/09/2023	ISSUED FOR APPROVAL	JS	SC
3	01/03/2024	AMENDED DA	JS	JP
4	08/05/2024	COUNCIL RFI	JS	SC



1 UPPER BASEMENT - WASTE MANAGEMENT
DA-1500 SCALE 1 : 300

Client



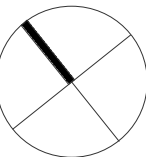
Project

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Drawing Name

WASTE MANAGEMENT

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1:500 @A1



Date Scale Sheet Size
08/05/2024 1 : 300 @ A1

Drawn Chk. Job No.
JS SC 6810

Drawing No. Revision
DA-9002 / 4