

Nominated Architects: Adam Haddow-7188 | John Pradel-7004

EOD	APPROVAL	
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,	Date	Revision	Ву	Chk.
	17/07/2023	PRE DA	JS	JP
	18/08/2023	DRAFT DA	JS	SC
	08/09/2023	ISSUED FOR APPROVAL	JS	SC
	01/03/2024	AMENDED DA	JS	JP

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Project
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20 Waterview St Putney 2112

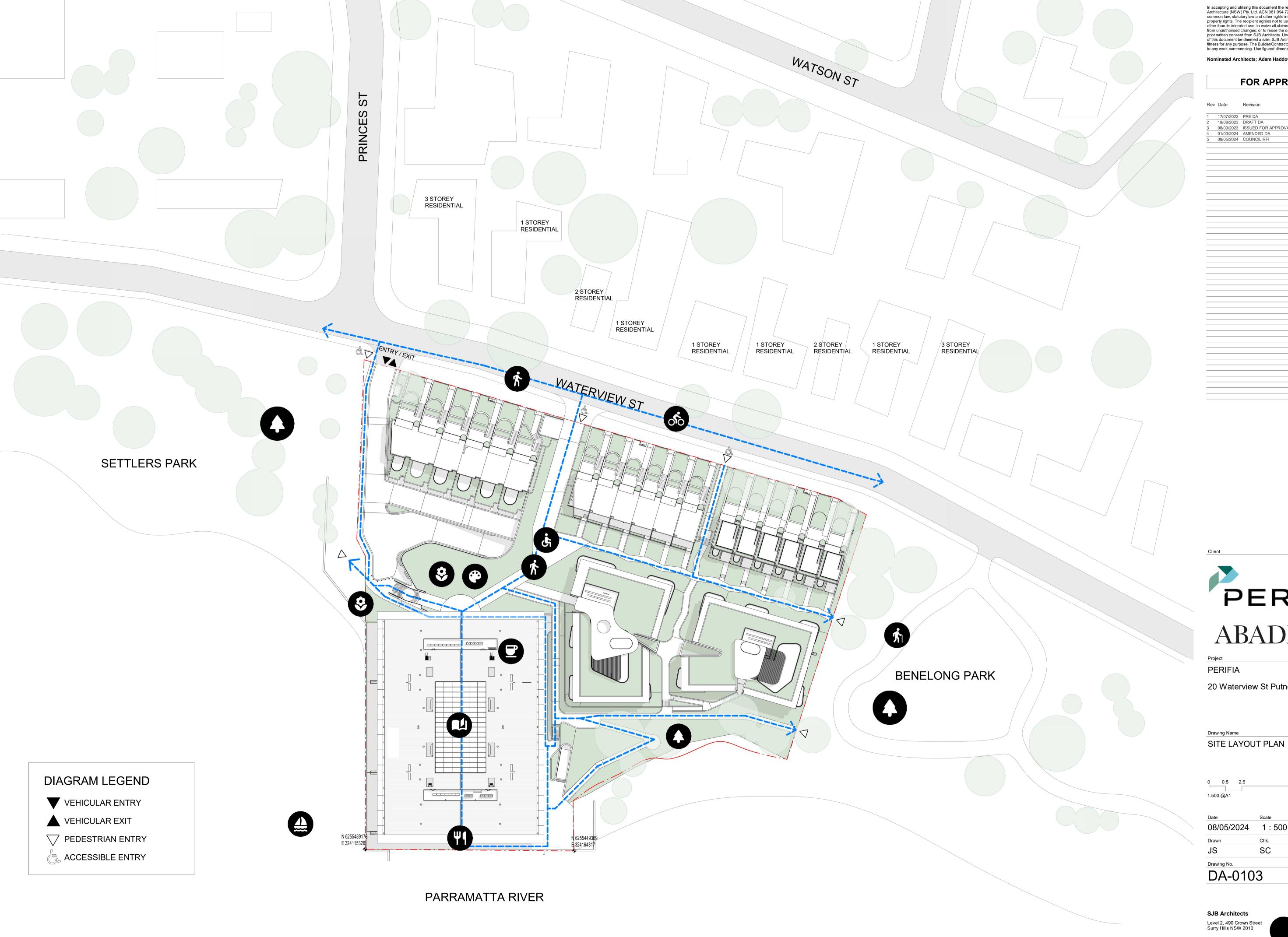
Drawing Name
SITE PLAN

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Date	Scale	Sheet Size
01/03/2024	1:2000	@ A1
Drawn	Chk.	Job No.
JS	SC	6810
Drawing No.		Revision
DA-010	1	/ 4

SJB Architects
Level 2, 490 Crown Street
Surry Hills NSW 2010
T 61 2 9380 9911





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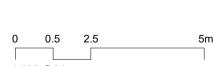
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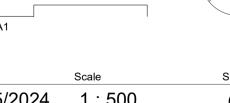
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2	18/08/2023	DRAFT DA	JS	SC
3	08/09/2023	ISSUED FOR APPROVAL	JS	SC
4	01/03/2024	AMENDED DA	JS	JP
5	08/05/2024	COUNCIL RFI	JS	SC



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Drawing Name





Date	Scale	Sheet Size
08/05/2024	1 : 500	@ A1
Drawn	Chk.	Job No.
JS	SC	6810
Drawing No.		Revision
DA-010	3	/ 5

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	FOR APPROVAL		
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2 08/09/2023 ISSUED FOR APPROVAL JS	IVEV	Date	Revision	Бу
2 08/09/2023 ISSUED FOR APPROVAL JS 3 01/03/2024 AMENDED DA JS	1	18/08/2023	DRAFT DA	JS
3 01/03/2024 AMENDED DA JS	2	08/09/2023	ISSUED FOR APPROVAL	JS
	3	01/03/2024	AMENDED DA	JS

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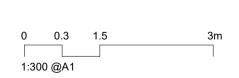


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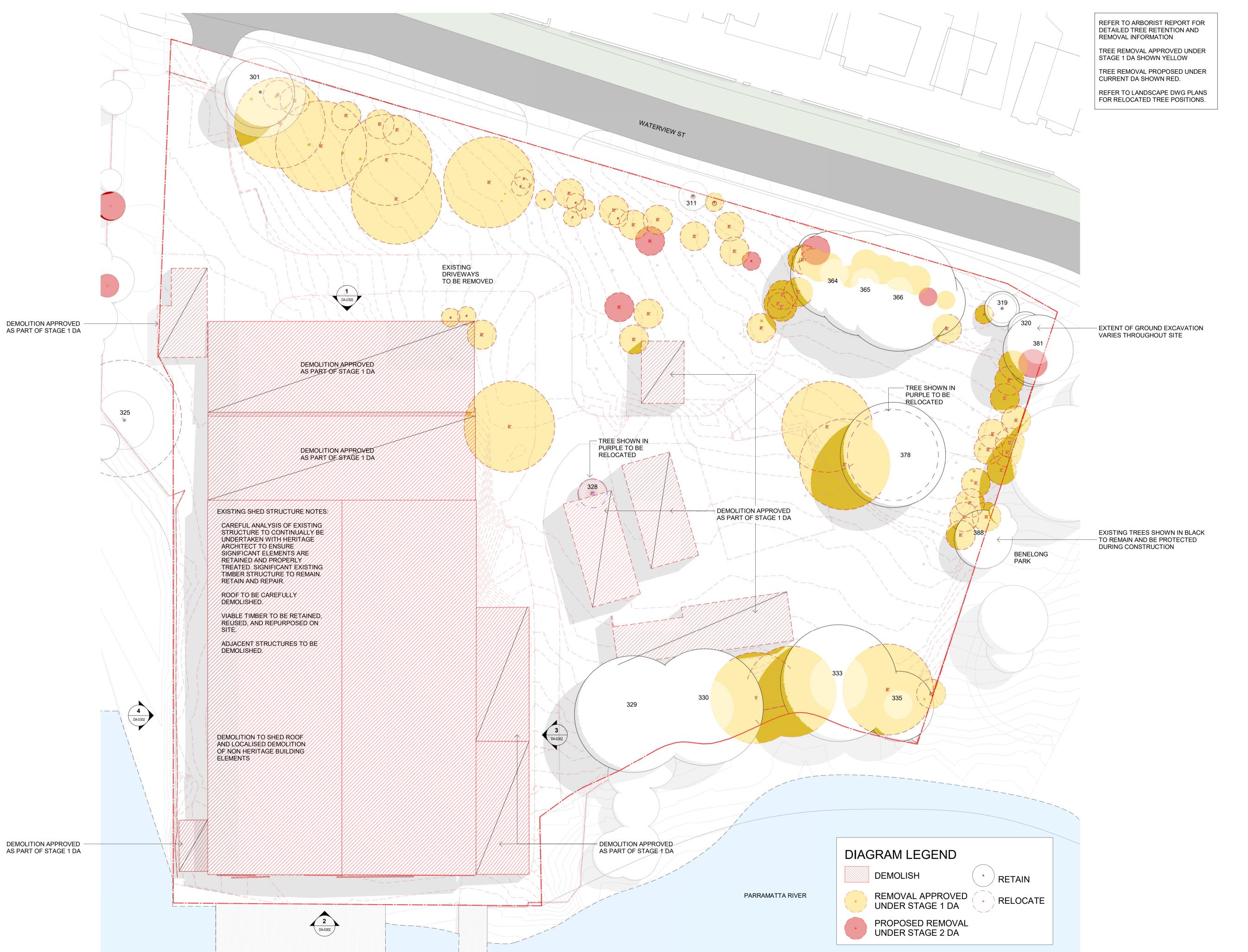
20 Waterview St Putney 2112

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Drawing No.		Revisio
DA-020	0	/ 3



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FOR APPROVAL

Rev	Date	Revision	Ву	Ch
1	18/08/2023	DRAFT DA	JS	S
2	08/09/2023	ISSUED FOR APPROVAL	JS	S
3	01/03/2024	AMENDED DA	JS	J

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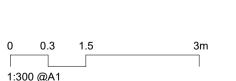
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20 Waterview St Putney 2112

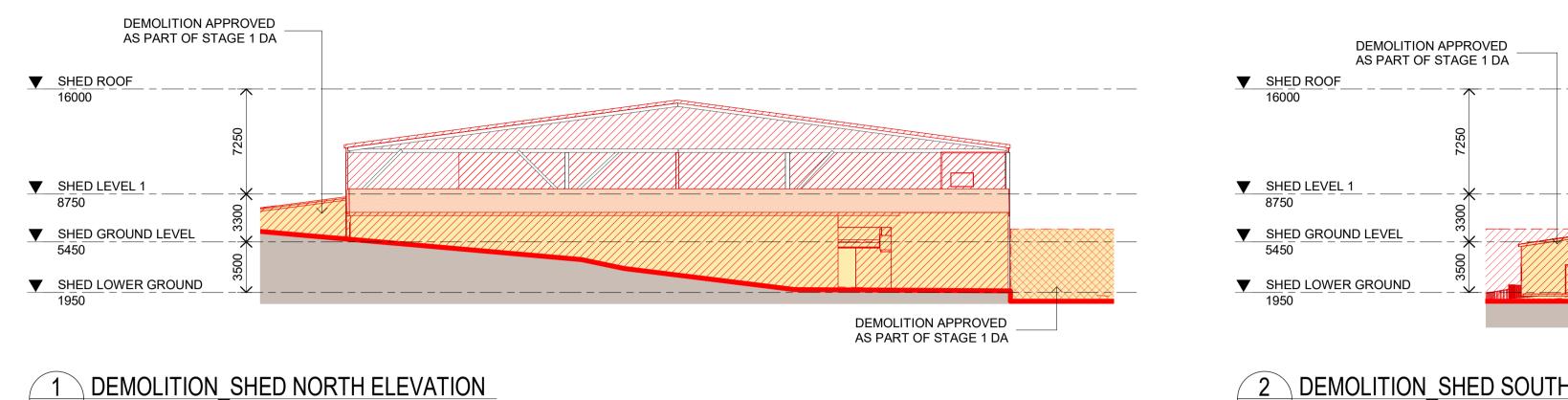
Drawing Name

DEMOLITION PLAN (SITE)



Date	Scale	Sheet Size
01/03/2024	1:300	@ A1
Drawn	Chk.	Job No.
JS	SC	6810
Drawing No.		Revision
DA-030)1	/ 3





DEMOLITION APPROVED
AS PART OF STAGE 1 DA

SHED ROOF
16000

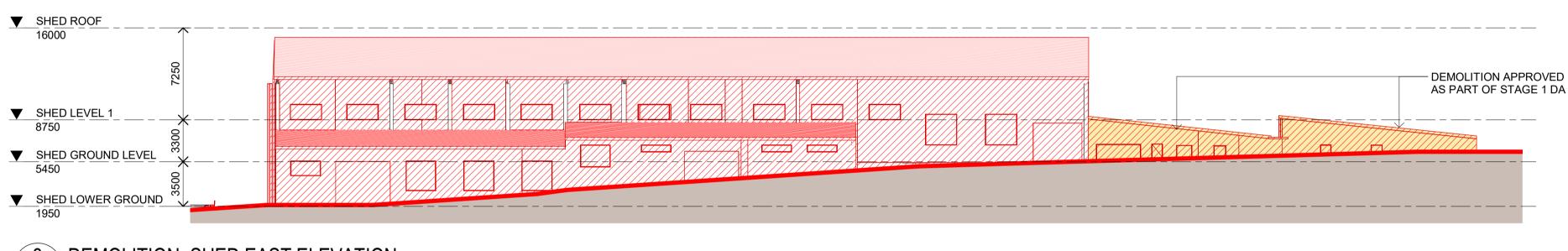
SHED LEVEL 1
8750

SHED GROUND LEVEL
5450

SHED LOWER GROUND
1950

DEMOLITION APPROVED
AS PART OF STAGE 1 DA

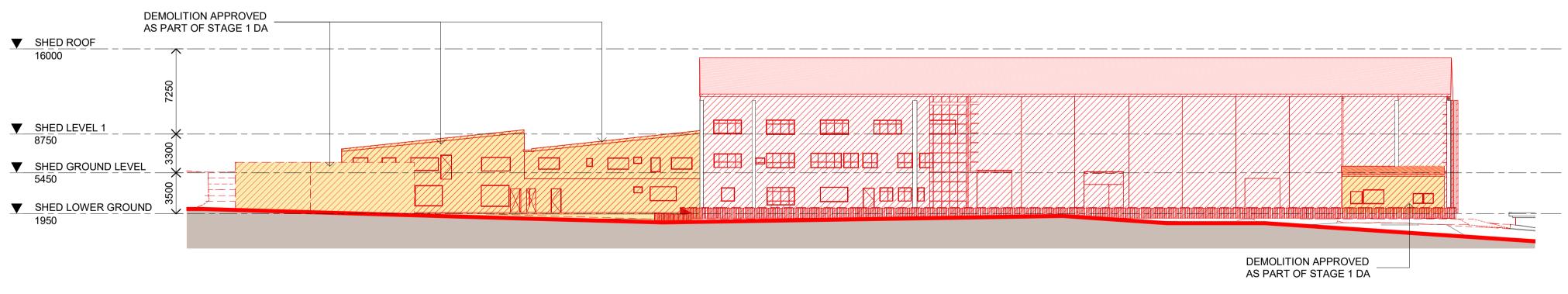
2 DEMOLITION_SHED SOUTH ELEVATION
SCALE 1: 250



3 DEMOLITION_SHED EAST ELEVATION

DA-0301 SCALE 1: 250

DA-0301 SCALE 1 : 250



4 DEMOLITION_SHED WEST ELEVATION

SCALE 1: 250

EXISTING SHED STRUCTURE NOTES:

CAREFUL ANALYSIS OF EXISTING STRUCTURE TO CONTINUALLY BE UNDERTAKEN WITH HERITAGE ARCHITECT TO ENSURE SIGNIFICANT ELEMENTS ARE RETAINED AND PROPERLY TREATED. SIGNIFICANT EXISTING TIMBER STRUCTURE TO REMAIN. RETAIN AND REPAIR.

ROOF TO BE CAREFULLY DEMOLISHED.

VIABLE TIMBER TO BE RETAINED, REUSED, AND REPURPOSED ON SITE.

ADJACENT STRUCTURES TO BE DEMOLISHED.

DEMOLITION TO SHED ROOF AND LOCALISED DEMOLITION OF NON HERITAGE BUILDING ELEMENTS



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08/09/2023 ISSUED FOR APPROV 01/03/2024 AMENDED DA

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20 Waterview St Putney 2112

Drawing Name

TYP DEMOLITION

ELEVATION - SHED

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Date	Scale	Sheet Size
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Drawn	Chk.	Job No.
JS	SC	6810
Drawing No.		Revision
DA-030	2	/ 3

LOWER BASEMENT PARKING SPACES				
USE	STAGE 1 DA	STAGE 2 DA		
TERRACES	6	0		
RFB	0 (ACTUAL COUNT IS SHARED WITH SHED PARKING)	0		
SHED RESIDENTIAL	35	0		
SHED RETAIL / COMMERCIAL	56	47 (4 ACCESSIBLE)		
MARINA	0	18		
TOTAL PARKING SPACES				

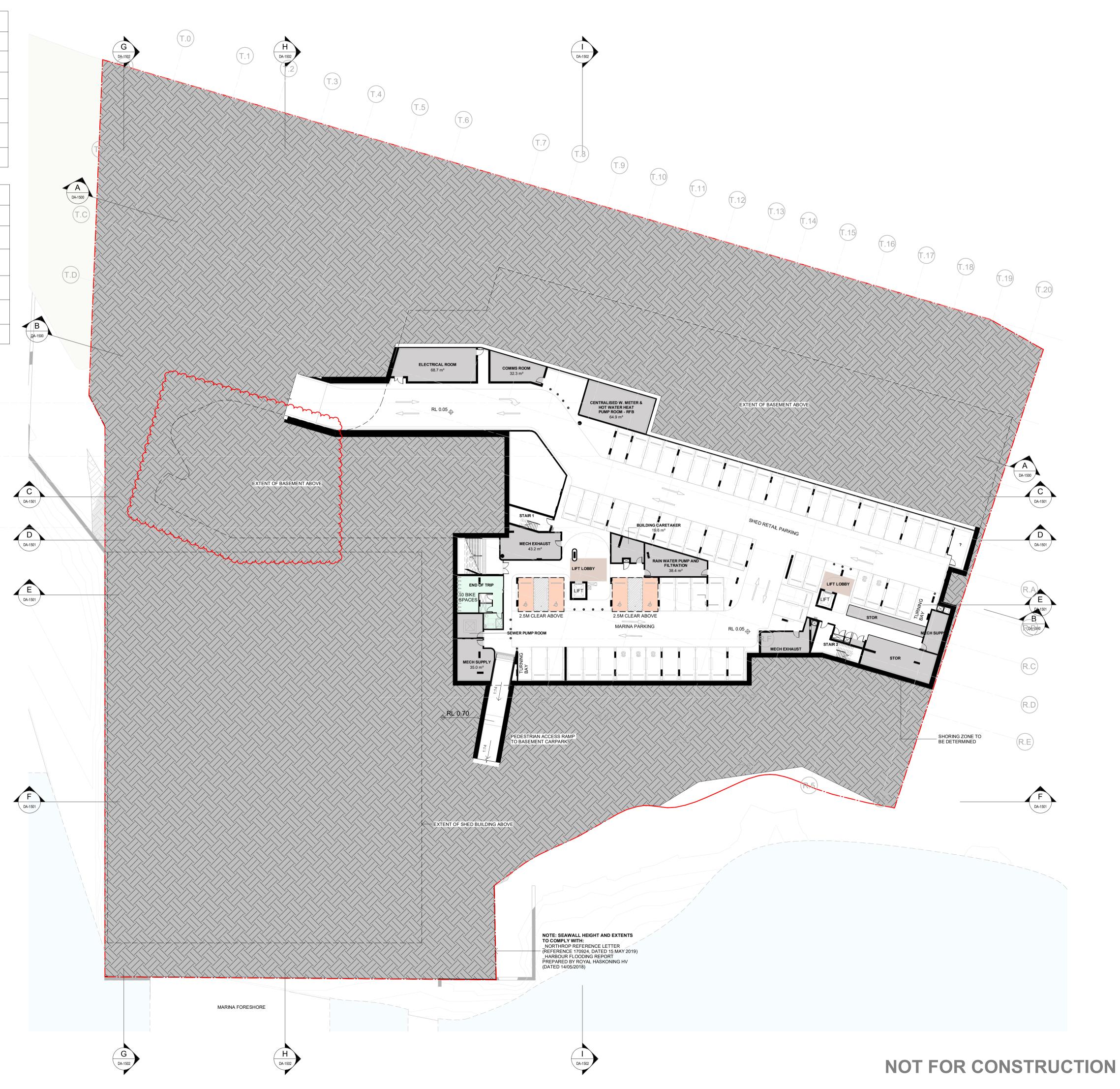
	TOTAL PARKING SPACES				
	USE	STAGE 1 DA	STAGE 2 DA		
	TERRACES	24	35		
	RFB	42	76		
	SHED RESIDENTIAL	35	40		
SH	ED RETAIL / COMMERCIAL	56	47		
	MARINA	0	18		

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<u>LEGEND</u>





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1	30/06/2023	FOR COORDINATION	SH	SC
2	17/07/2023	PRE DA	JS	JP
3	18/08/2023	DRAFT DA	JS	SC
4	08/09/2023	ISSUED FOR APPROVAL	JS	SC
5	22/02/2024	ISSUED FOR INFORMATION	JS	JP
7	01/03/2024	AMENDED DA	JS	JP
6	29/02/2024	ISSUED FOR INFORMATION	JS	JP
8	08/05/2024	COUNCIL RFI	JS	SC



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Drawing Name

OVERALL PLAN - LOWER BASEMENT



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Drawn	Chk.	Job
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Date	Scale	Sheet S
1:300 @A1		

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Job No.

6810 Revision / 8 DA-1000

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4	08/09/2023	ISSUED FOR APPROVAL	JS	SC
5	22/02/2024	ISSUED FOR INFORMATION	JS	JP
7	01/03/2024	AMENDED DA	JS	JP
6	29/02/2024	ISSUED FOR INFORMATION	JS	JP
8	08/05/2024	COUNCIL RFI	JS	SC
9	11/06/2024	UPDATED PARKING	JS	SC

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20 Waterview St Putney 2112

Drawing Name

OVERALL PLAN - UPPER BASEMENT



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JS	SC	6810
Drawing No.		Revision
DA-1001		/ 9



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— — — BASEMENT EXTENTS BELOW

TREE PROTECTION ZONE

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	08/09/2023	ISSUED FOR APPROVAL	JS	SC
;	22/02/2024	ISSUED FOR INFORMATION	JS	JP
,	01/03/2024	AMENDED DA	JS	JP
;	29/02/2024	ISSUED FOR INFORMATION	JS	JP
}	08/05/2024	COUNCIL RFI	JS	SC

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Drawing Name OVERALL PLAN - SHED AND RFB GROUND LEVEL



Date	Scale	Sheet Size
08/05/2024	1:300	@ A1
Drawn	Chk.	Job No.
JS	SC	6810
Drawing No.		Revision
DA-1002		/ 8

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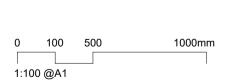
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2	17/07/2023	PRE DA	JS	JP
3	18/08/2023	DRAFT DA	JS	SC
4	08/09/2023	ISSUED FOR APPROVAL	JS	SC
5	22/02/2024	ISSUED FOR INFORMATION	JS	JP
6	01/03/2024	AMENDED DA	JS	JP
7	08/05/2024	COUNCIL RFI	JS	SC
8	12/07/2027	RESPONSE TO COUNCIL	BD	SC

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Drawing Name OVERALL PLAN - SHED AND RFB LEVEL 1



Date	Scale	Sheet Size
12/07/2027	1:300	@ A1
Drawn	Chk.	Job No.
JS	SC	6810
Drawing No.		Revision
DA-1003		/ 8

DA-1003

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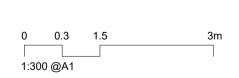
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3	18/08/2023	DRAFT DA	JS	SC
4	08/09/2023	ISSUED FOR APPROVAL	JS	SC
5	22/02/2024	ISSUED FOR INFORMATION	JS	JP
6	01/03/2024	AMENDED DA	JS	JP
7	12/07/2027	RESPONSE TO COUNCIL	BD	SC

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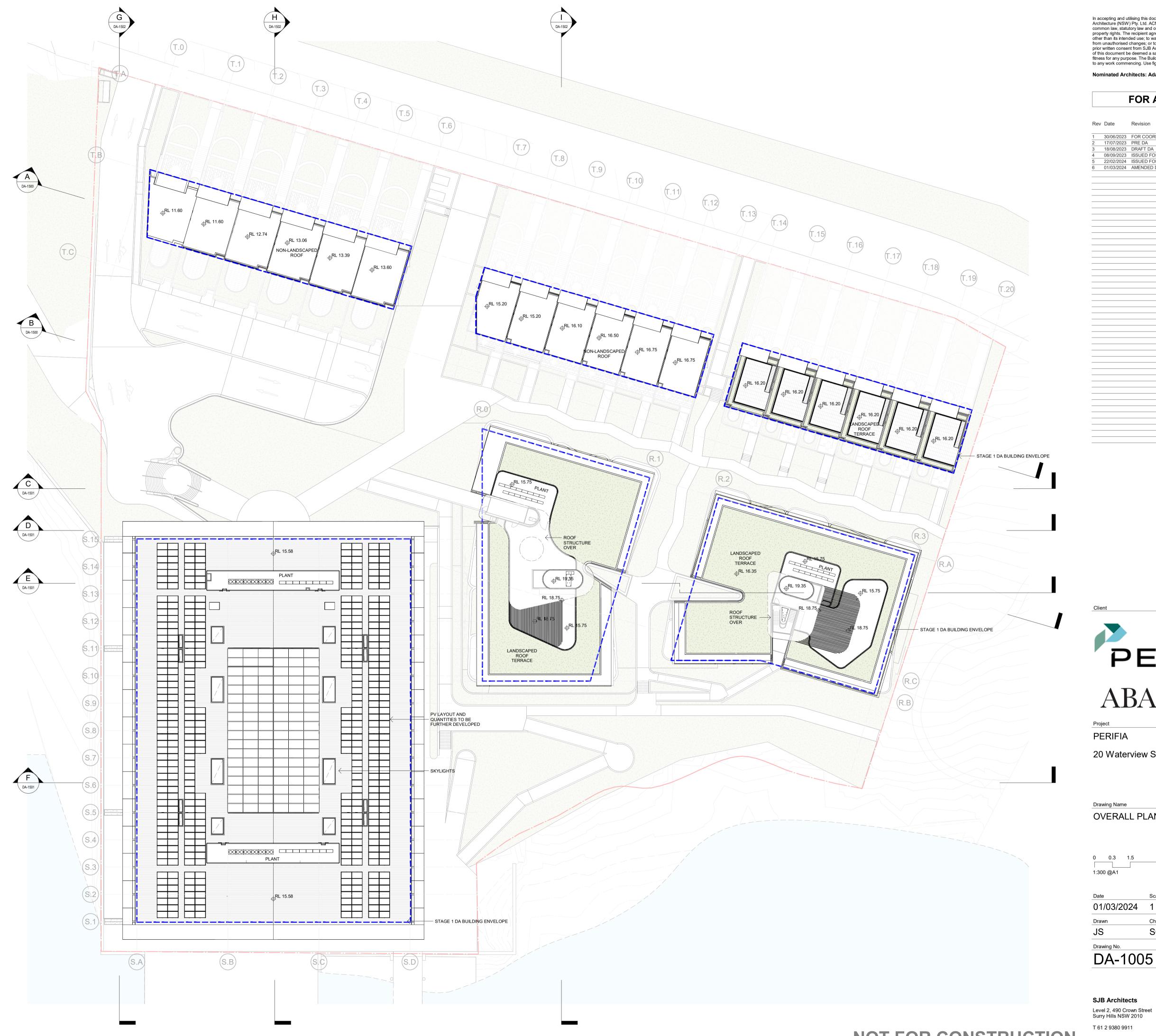
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OVERALL PLAN - RFB LEVEL 2



Date	Scale	Shee
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Rev	Date	Revision	Ву	Ch
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2	17/07/2023	PRE DA	JS	JF
3	18/08/2023	DRAFT DA	JS	SC
4	08/09/2023	ISSUED FOR APPROVAL	JS	SC
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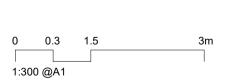
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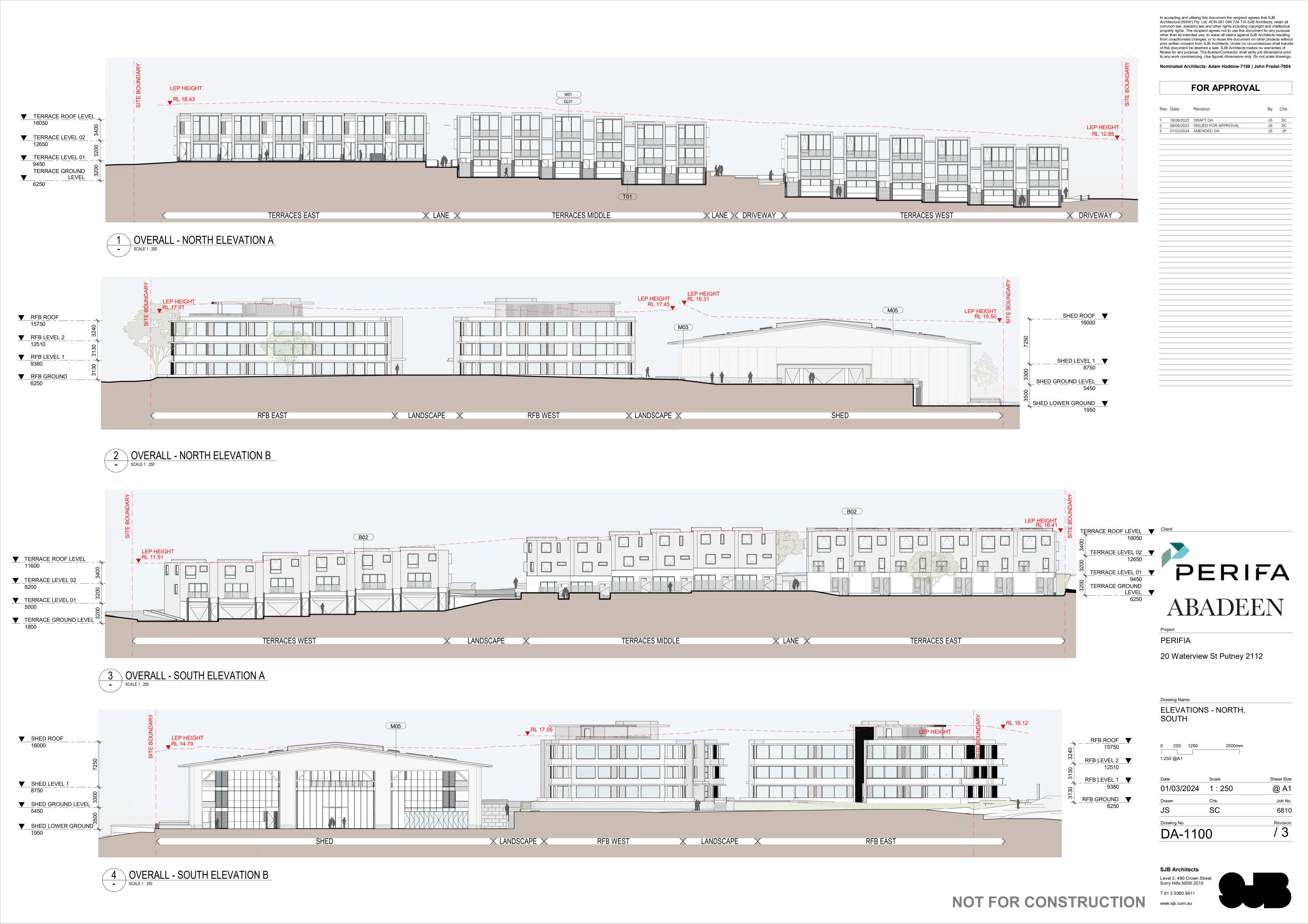
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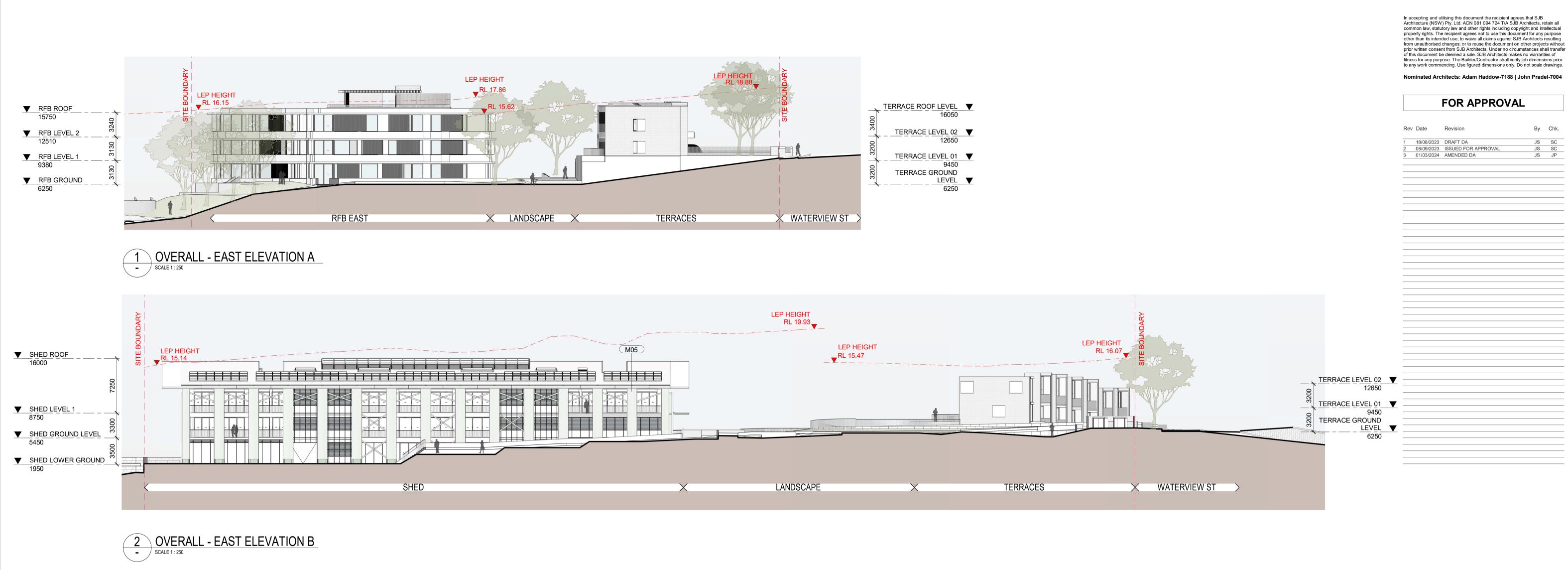


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Drawing No.		Revision
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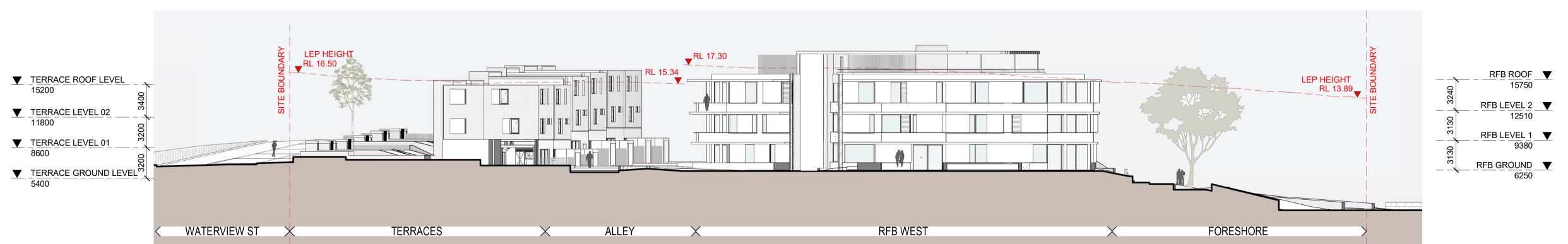












4 OVERALL - WEST ELEVATION B
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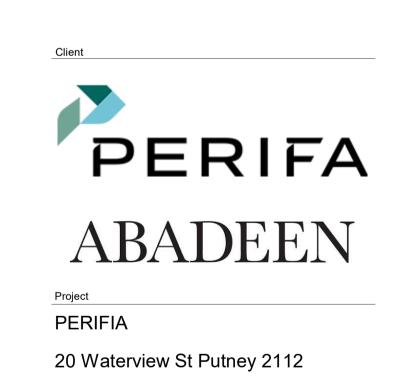
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ELEVATIONS - EAST,

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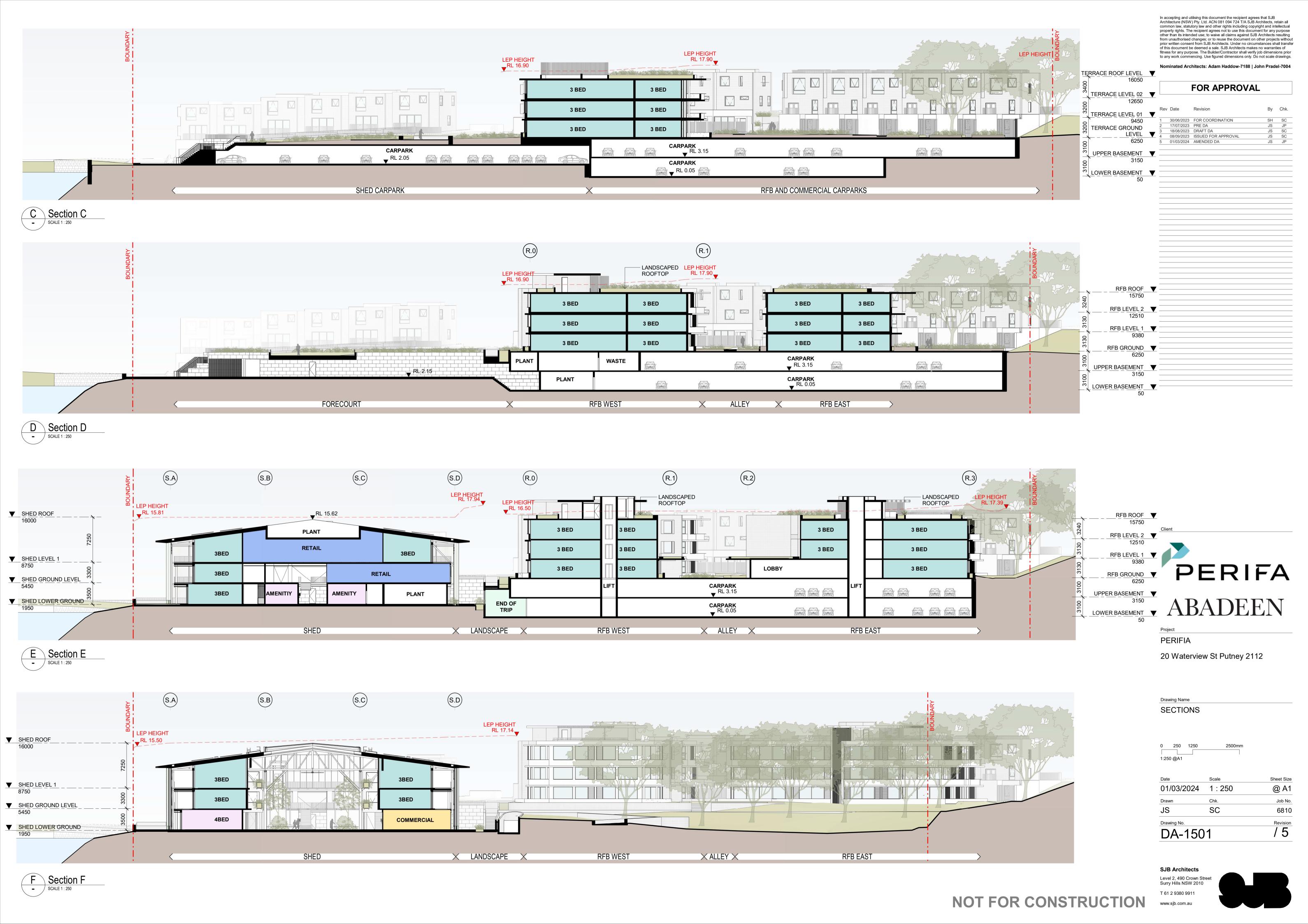


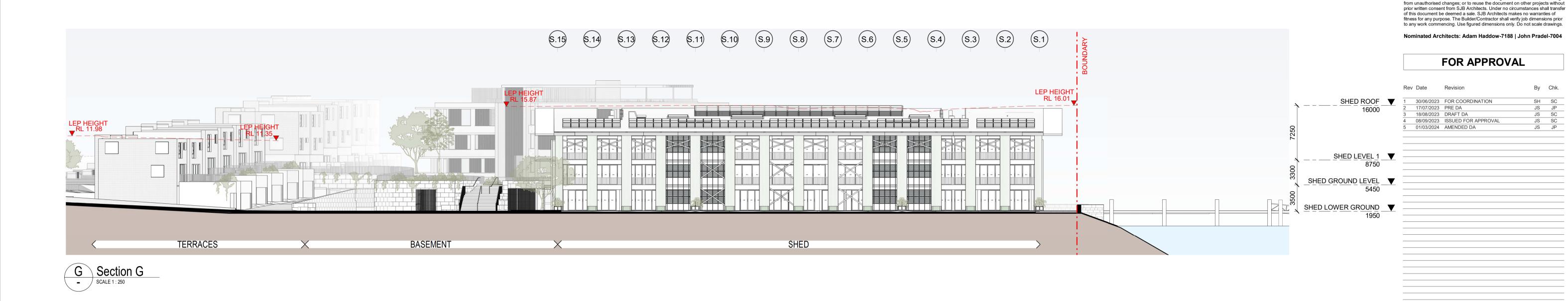


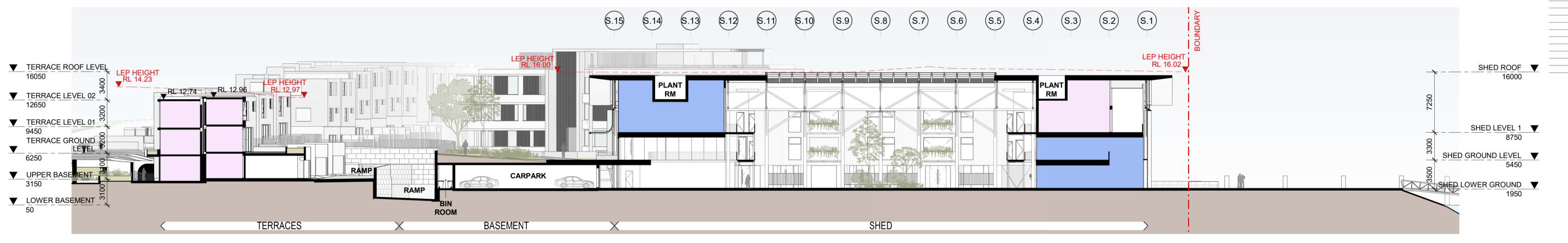
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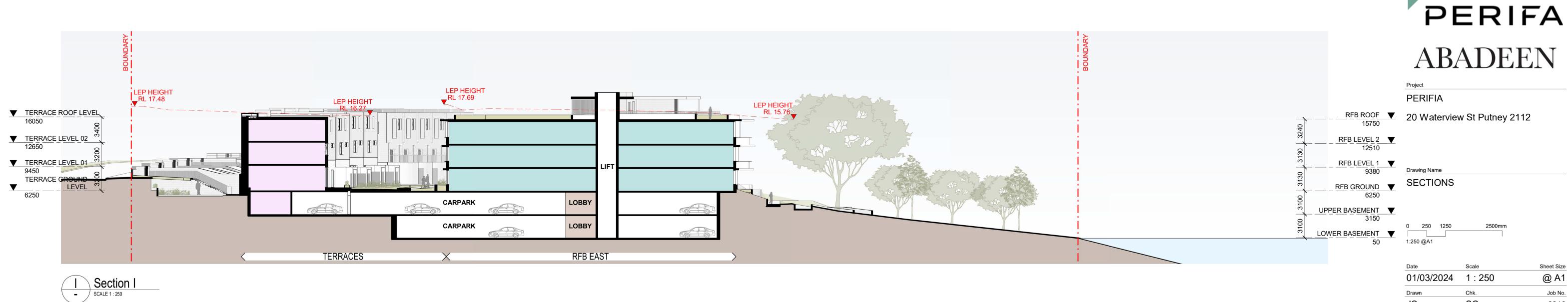
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JS	SC	6810
Drawing No.		Revision
DA-150	0	/ 5







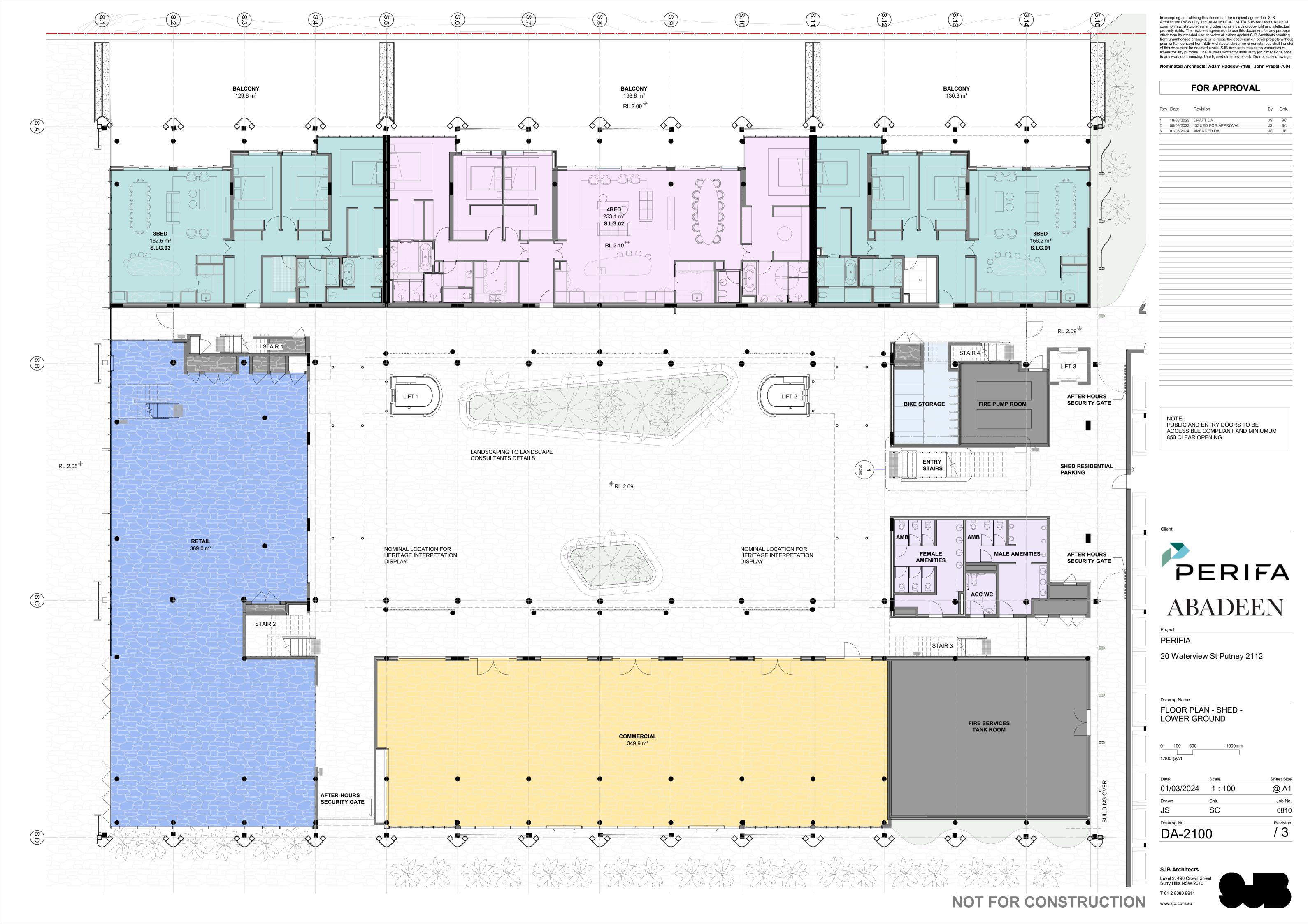


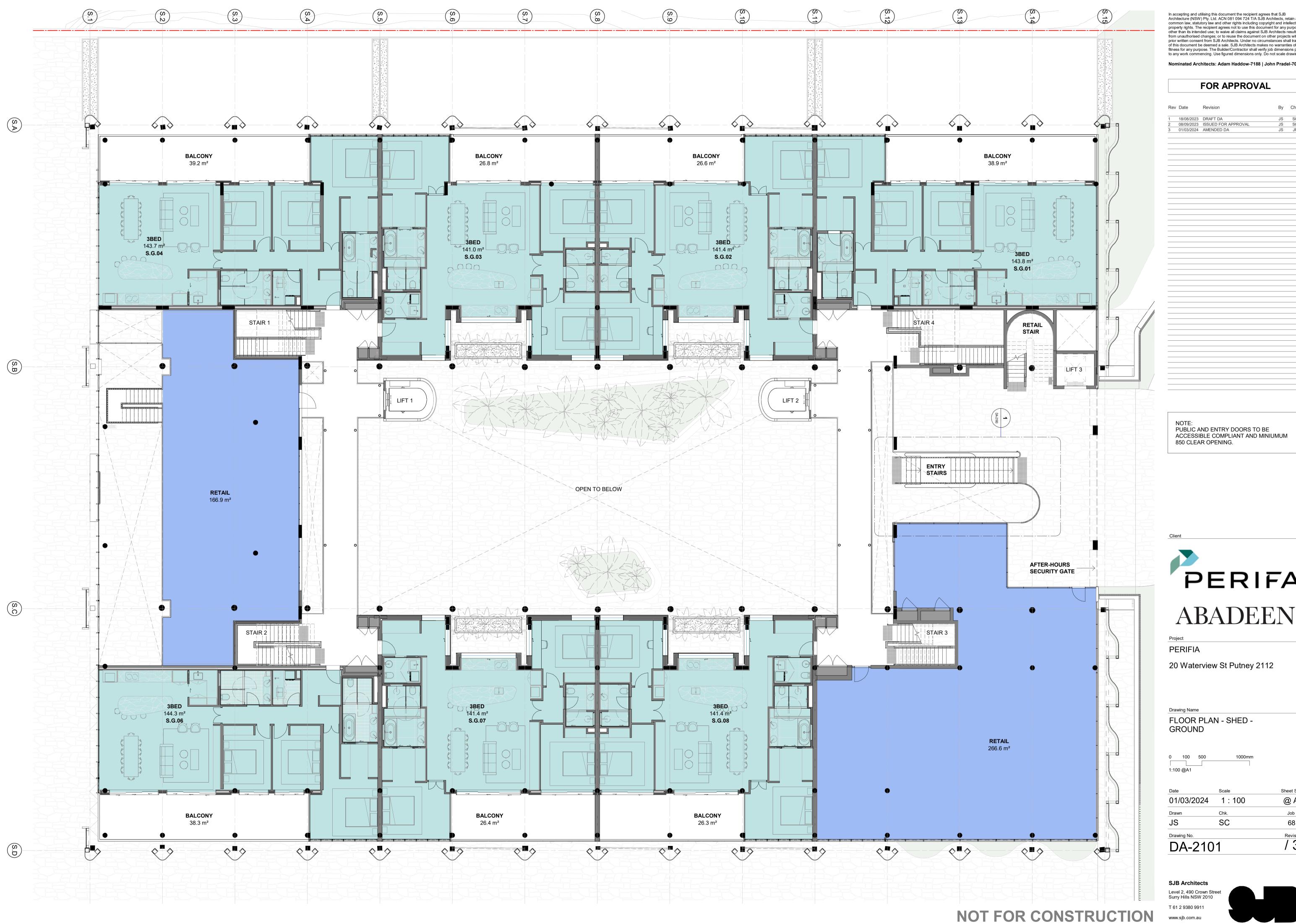


DA-150	2	/ 5
Drawing No.		Revision
JS	SC	6810
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Date	Scale	Sheet Size

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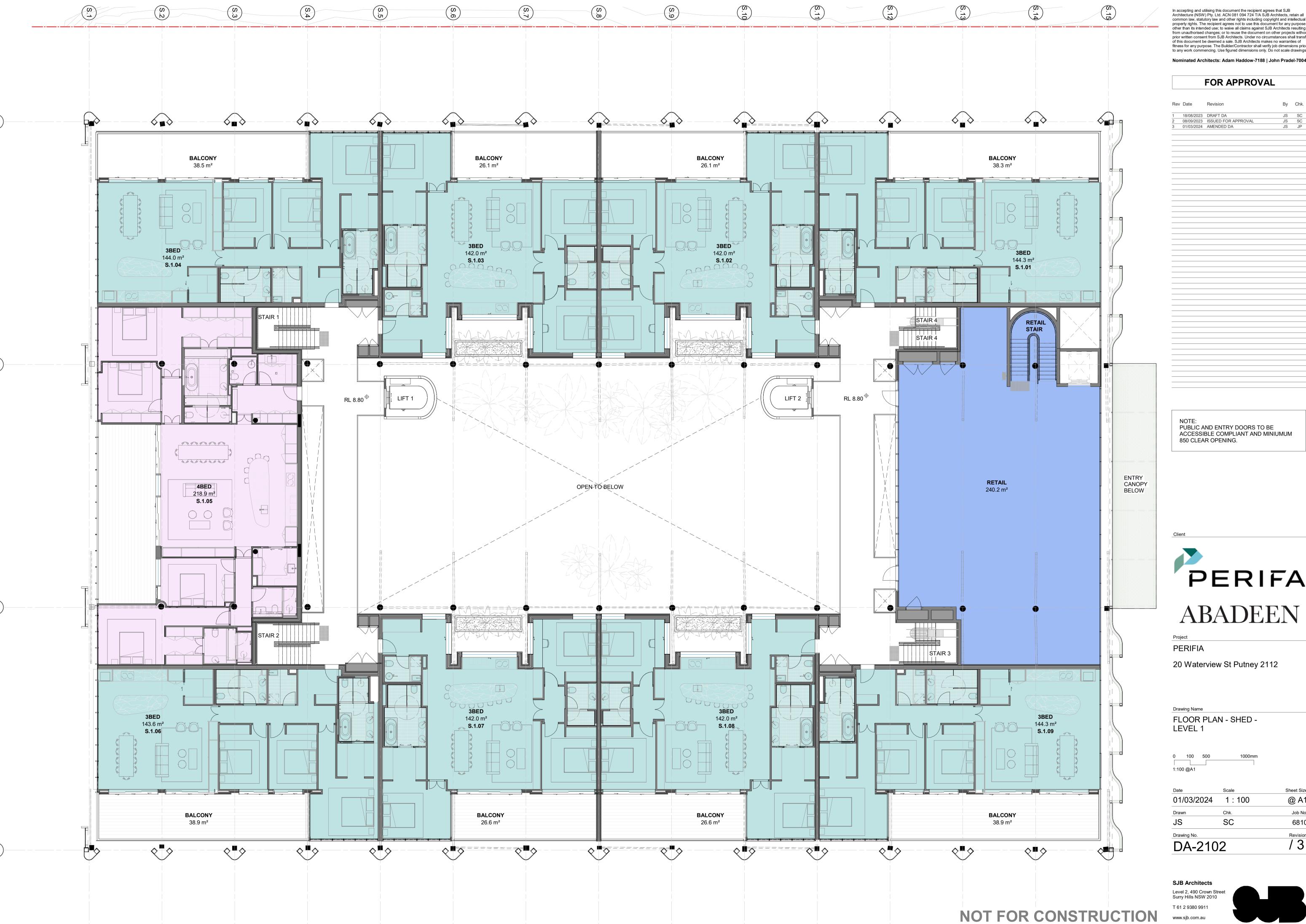
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Date	Scale	Sheet Size
01/03/2024	1 : 100	@ A1
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JS	SC	6810
Drawing No.		Revision
DA-210	1	/ 3

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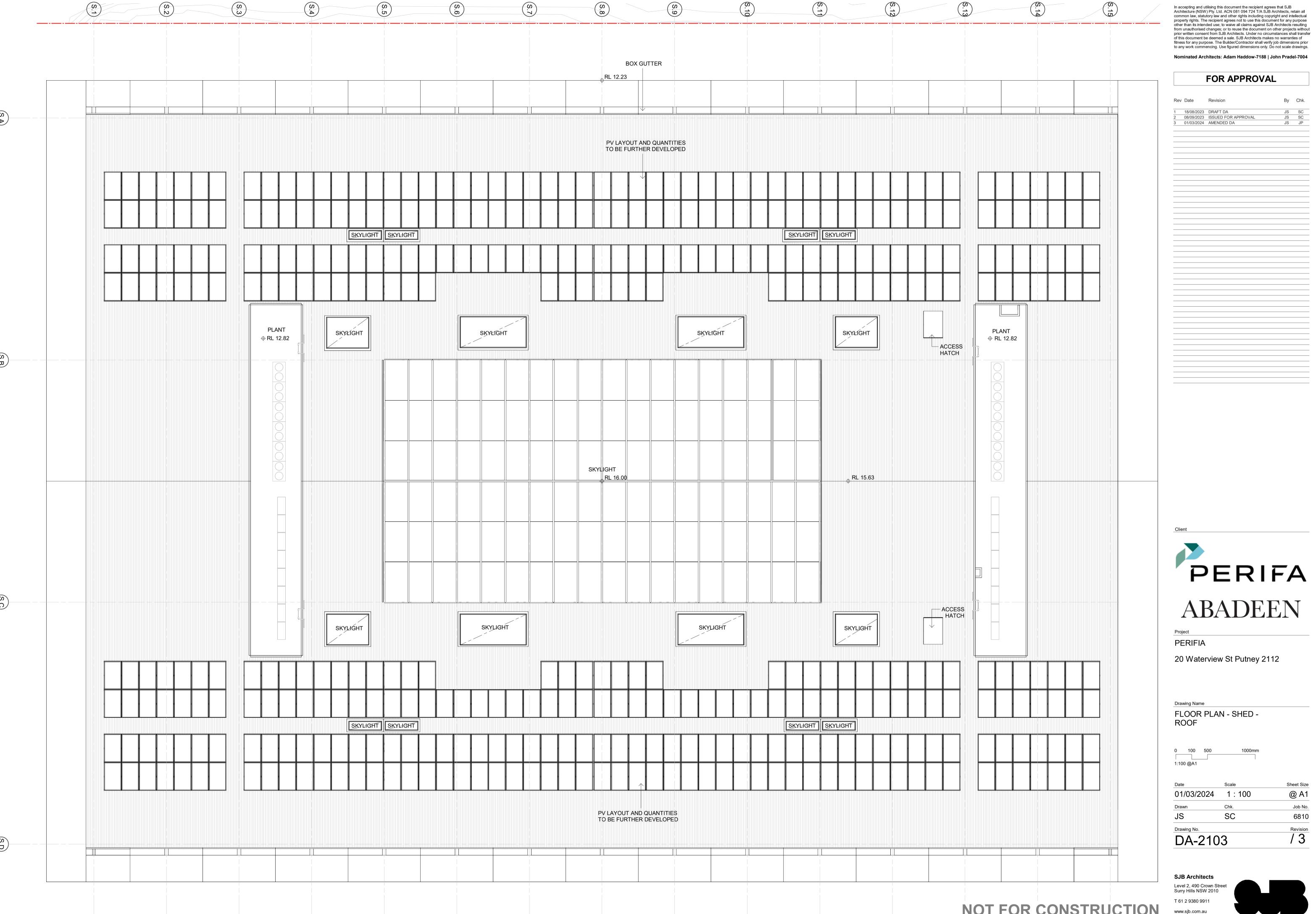
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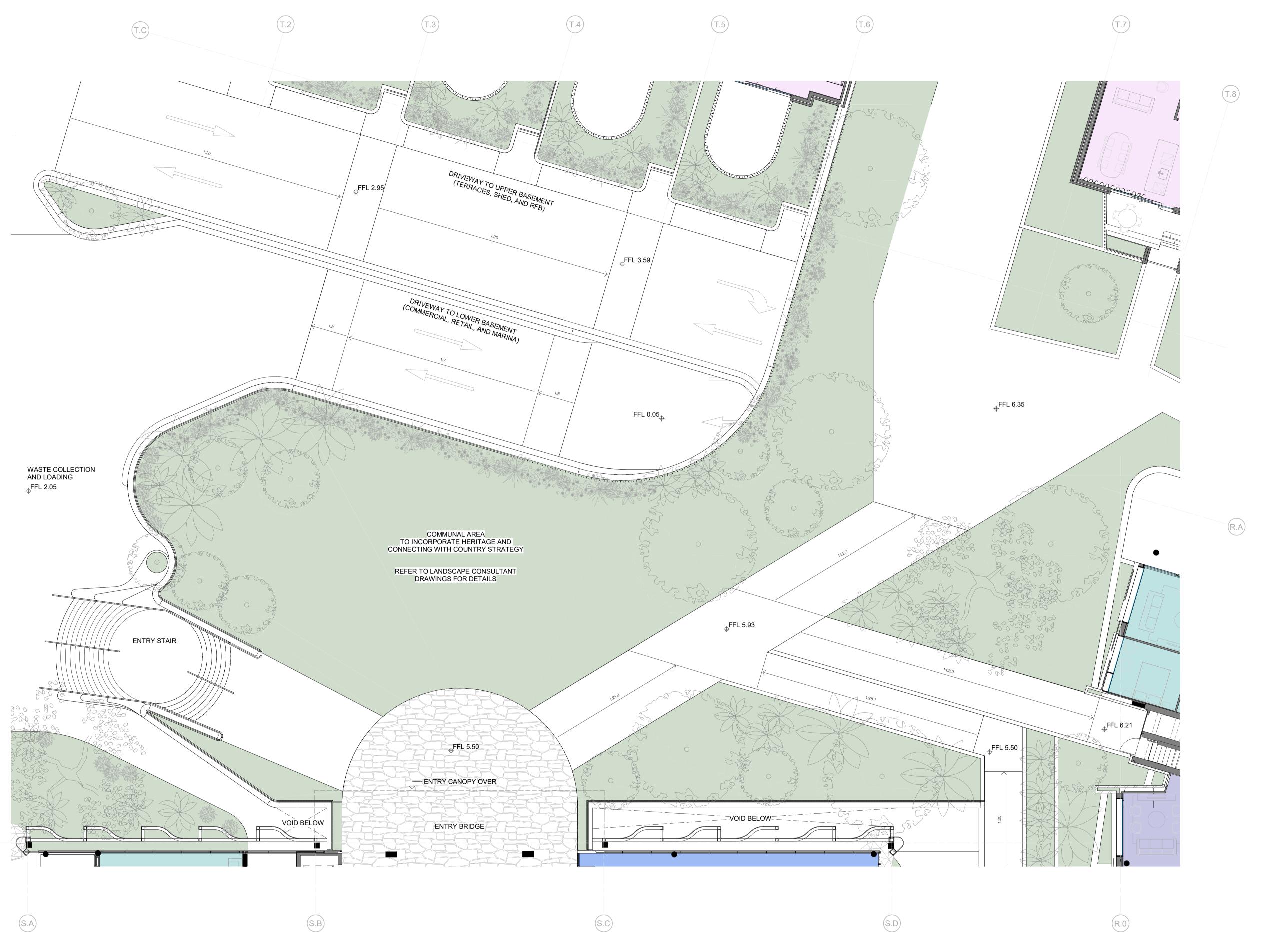
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Sheet Size @ A1 6810





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3	01/03/2024	AMENDED DA	JS	

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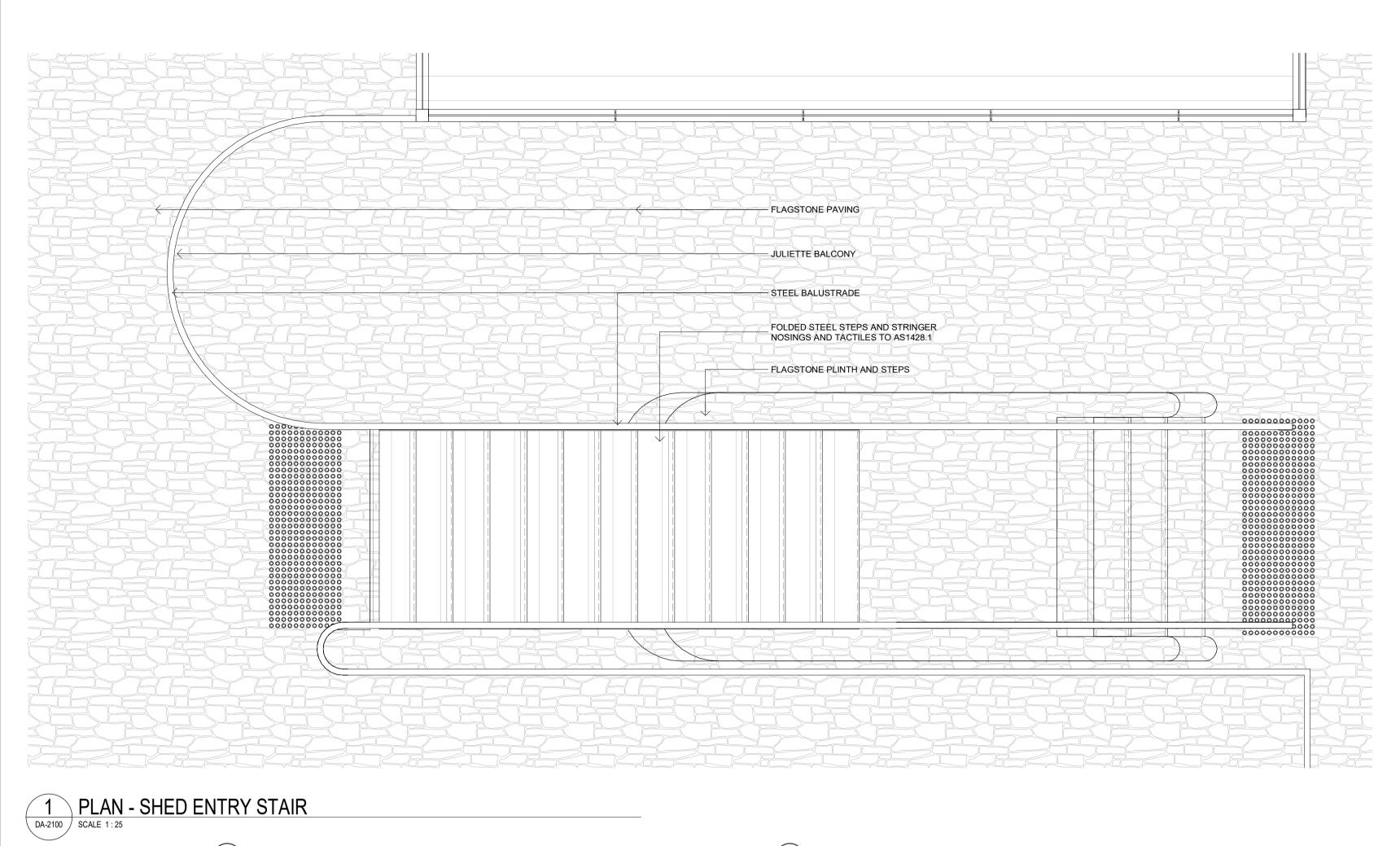
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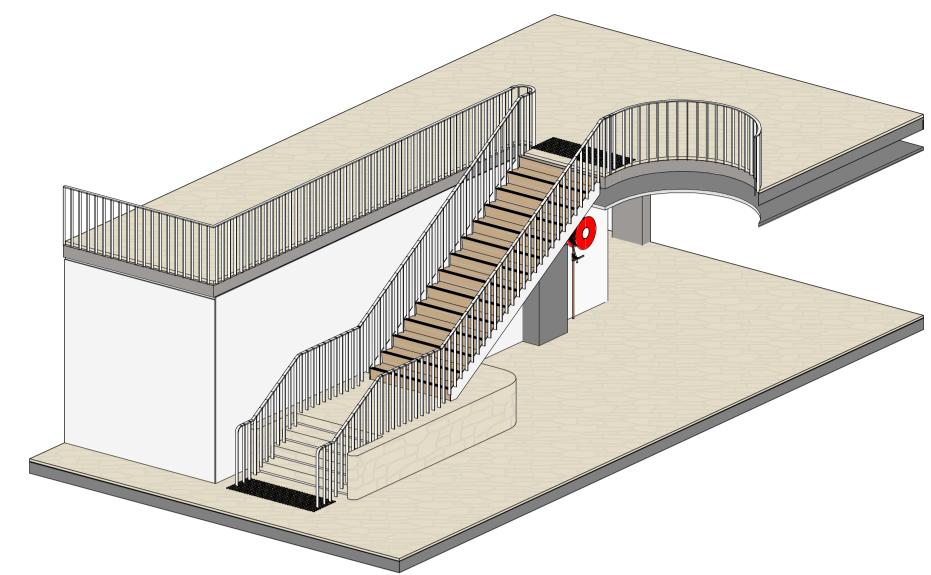
20 Waterview St Putney 2112

FLOOR PLAN - SHED -FORECOURT DETAILS

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Revision
6810
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3 AXO - SHED ENTRY STAIR

RECESSED LED LIGHTING IN STEP

HANDRAIL EXTENSION, NOSING AND TACTILES TO AS1428.1REQUIREMENTS

SHED LOWER GROUND V

SHED GROUND LEVEL ▼

SHED GRO

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01/03/2024 AMENDED DA

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SHED - INTERNAL STAIR
DETAILS

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Date	Scale	Sheet Size
01/03/2024	1 : 25	@ A1
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JS	SC	6810
Drawing No.		Revision
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1	18/08/2023	DRAFT DA	JS	S
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FLOOR PLAN RESIDENTIAL FLAT
BUILDING WEST GROUND LEVEL

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1:100 @A1

Date	Scale	Sheet Size
01/03/2024	1:100	@ A1
Drawn	Chk.	Job No.
JS	SC	6810
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DA-220	0	/ 3





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3	01/03/2024	AMENDED DA	JS	JP

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FLOOR PLAN RESIDENTIAL FLAT
BUILDING EAST GROUND LEVEL

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DA-220	1	/ 3
Drawing No.		Revision
JS	SC	6810
Drawn	Chk.	Job No.
01/03/2024	1 : 100	@ A1
Date	Scale	Sheet Size

BALCONY BALCONY 13.9 m² 99999 3BED 146.5 m² R.1.01 3BED 150.7 m² R.1.05 LANDSCAPED ENTRY AWNING BALCONY 13.6 m² R.B R.C

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Rev	Date	Revision	Ву	Chk.	
1	18/08/2023	DRAFT DA	JS	SC	
2	08/09/2023	ISSUED FOR APPROVAL	JS	SC	

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2	08/09/2023	ISSUED FOR APPROVAL	JS	SC
3	01/03/2024	AMENDED DA	JS	JF
4	12/07/2027	RESPONSE TO COUNCIL	BD	SC
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Project
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20 Waterview St Putney 2112

Prawing Name

FLOOR PLAN
RESIDENTIAL FLAT

BUILDING WEST - LEVEL

01

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DA-220)2	/ 4
Drawing No.		Revision
JS	SC	6810
Drawn	Chk.	Job No
12/07/2027	1 : 100	@ A1
Date	Scale	Sheet Size



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1	18/08/2023	DRAFT DA	JS	SC
2	08/09/2023	ISSUED FOR APPROVAL	JS	SC
3	01/03/2024	AMENDED DA	JS	JP
4	12/07/2027	RESPONSE TO COUNCIL	BD	SC



PERIFIA

20 Waterview St Putney 2112

FLOOR PLAN RESIDENTIAL FLAT
BUILDING EAST - LEVEL
01

Date Scale 12/07/2027 1 : 100

DA-220)3	/ 4
Drawing No.		Revision
JS	SC	6810
Drawn	Chk.	Job No.
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BALCONY BALCONY 13.9 m² 232323 99999 **3BED** 146.2 m² R.2.01 3BED 150.7 m² R.2.05 FFL 12.54 BALCONY 13.9 m² R.B 3BED 139.5 m² R.2.04 [A] R.C 3BED 138:7 m² R.2.03 [A]

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1	18/08/2023	DRAFT DA	JS	SC			
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3	01/03/2024	AMENDED DA	JS	JF			
4	12/07/2027	RESPONSE TO COUNCIL	BD	SC			



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20 Waterview St Putney 2112

FLOOR PLAN RESIDENTIAL FLAT
BUILDING WEST - LEVEL
02

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JS	SC	6810
Drawing No.		Revision
DA-220)4	/ 4





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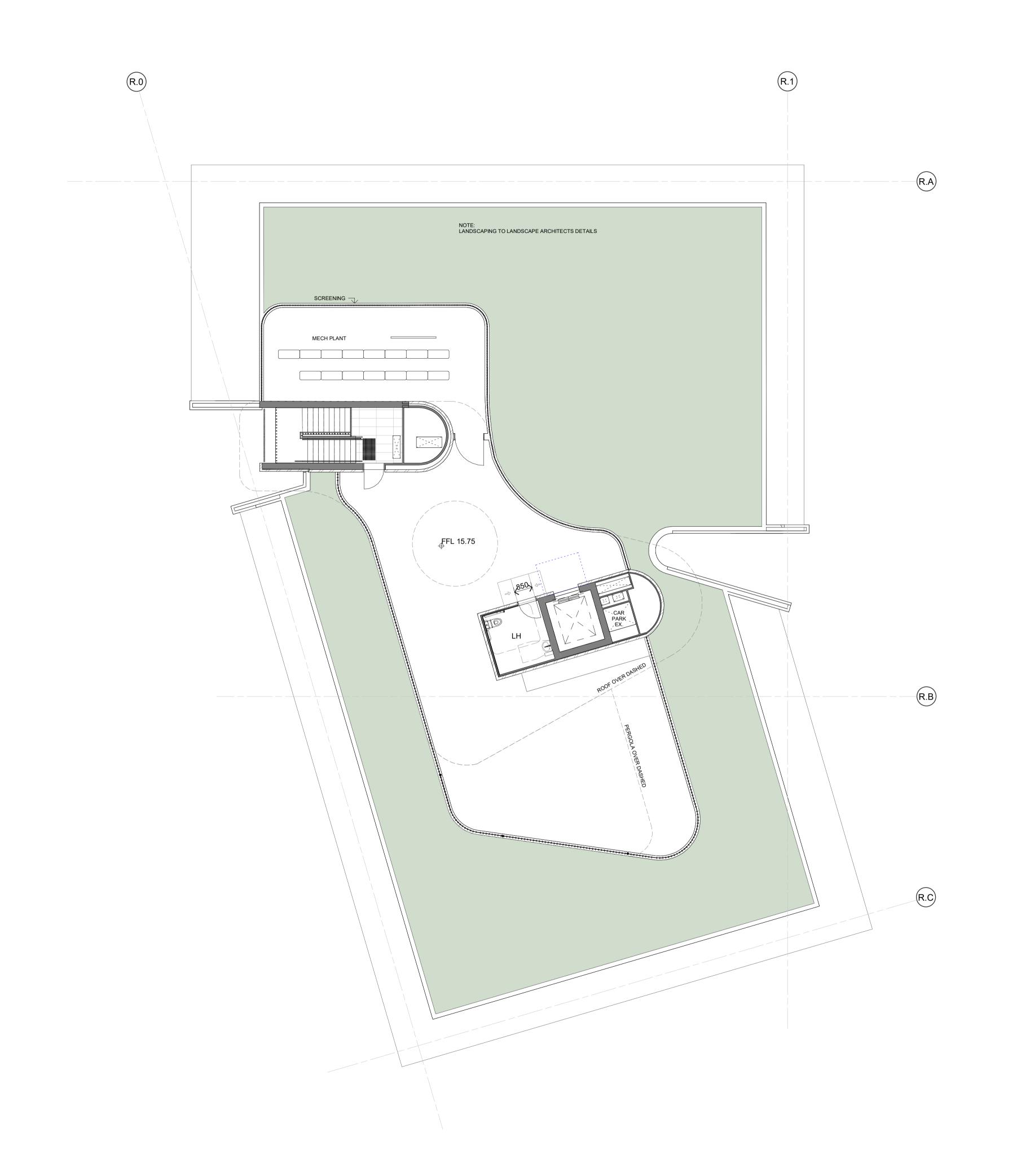
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20 Waterview St Putney 2112

FLOOR PLAN RESIDENTIAL FLAT
BUILDING EAST - LEVEL
02

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1		DRAFT DA	JS	
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20 Waterview St Putney 2112

FLOOR PLAN RESIDENTIAL FLAT
BUILDING WEST - ROOF

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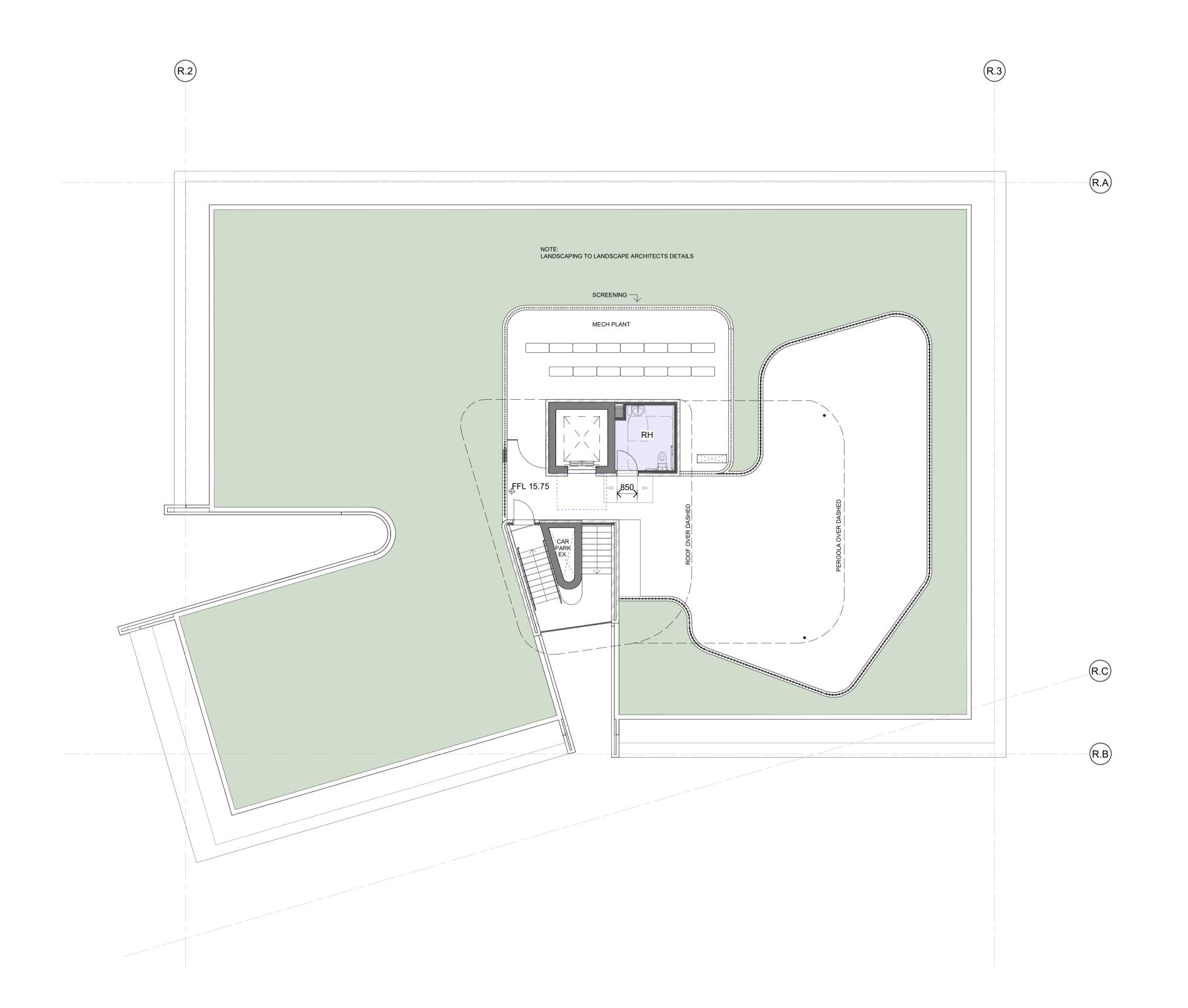
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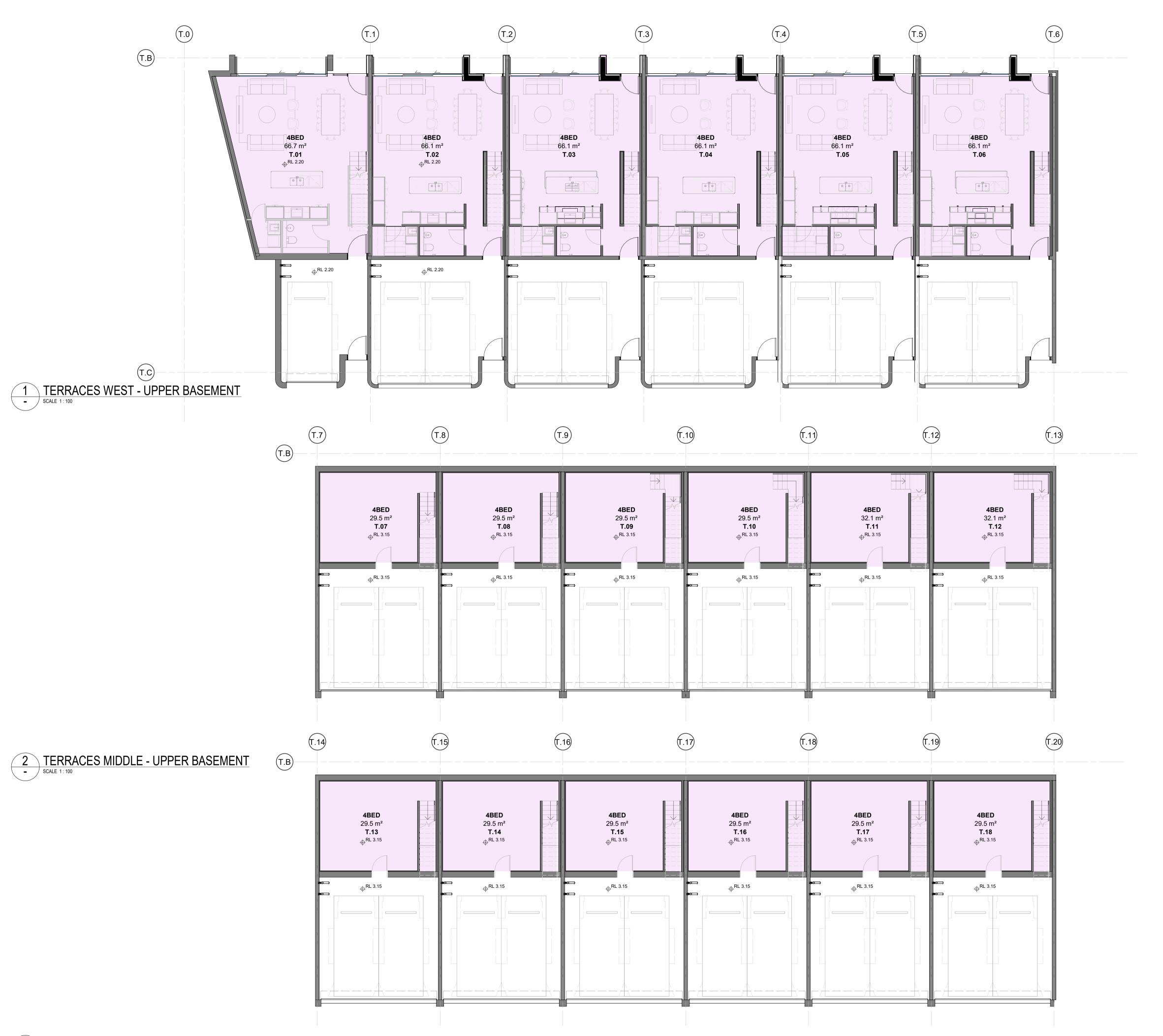
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FLOOR PLAN RESIDENTIAL FLAT
BUILDING EAST - ROOF

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DA-220	7	/ 3





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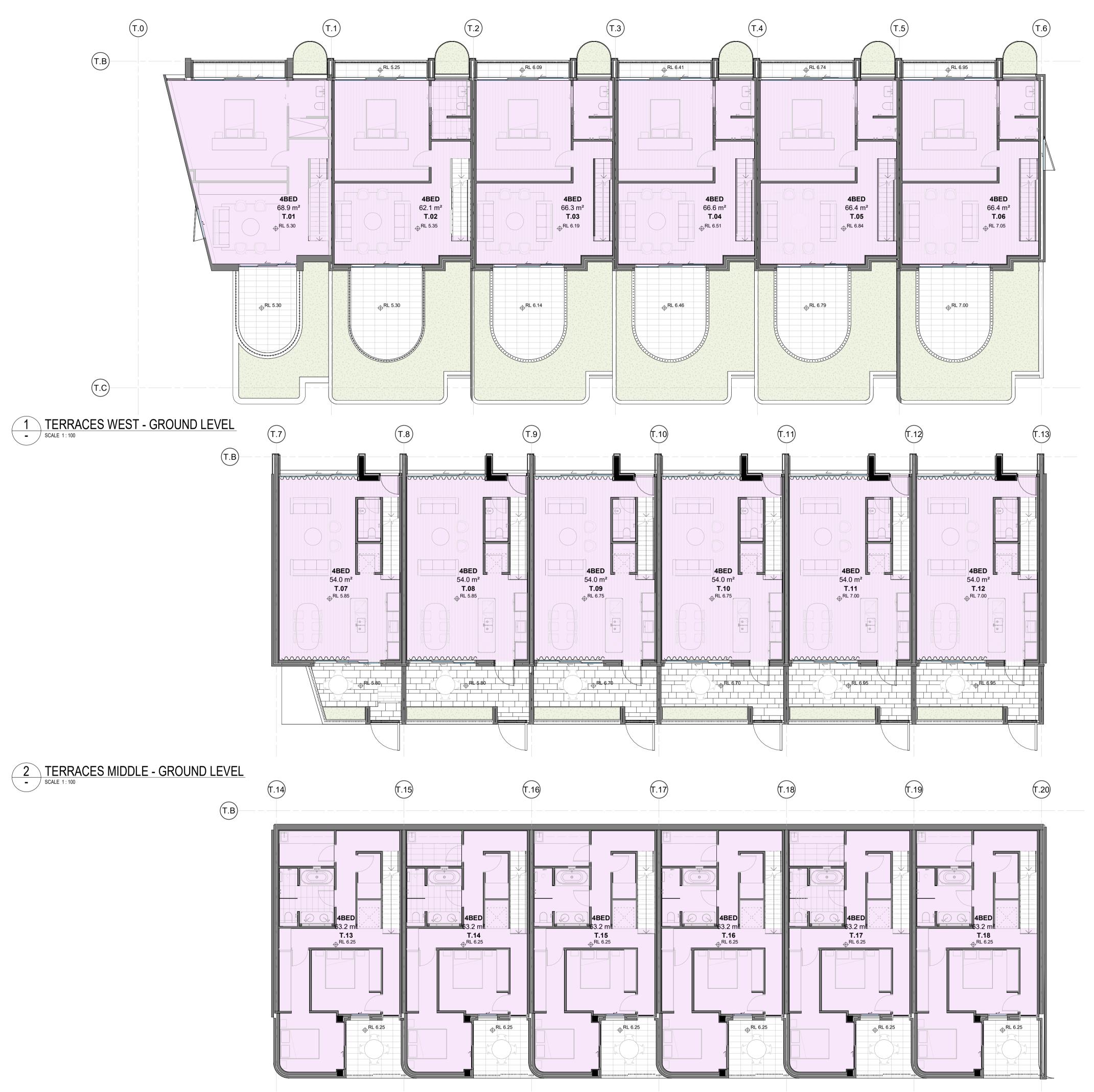
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Drawing Name

FLOOR PLAN - TERRACES - BASEMENT 1

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JS	SC	6810
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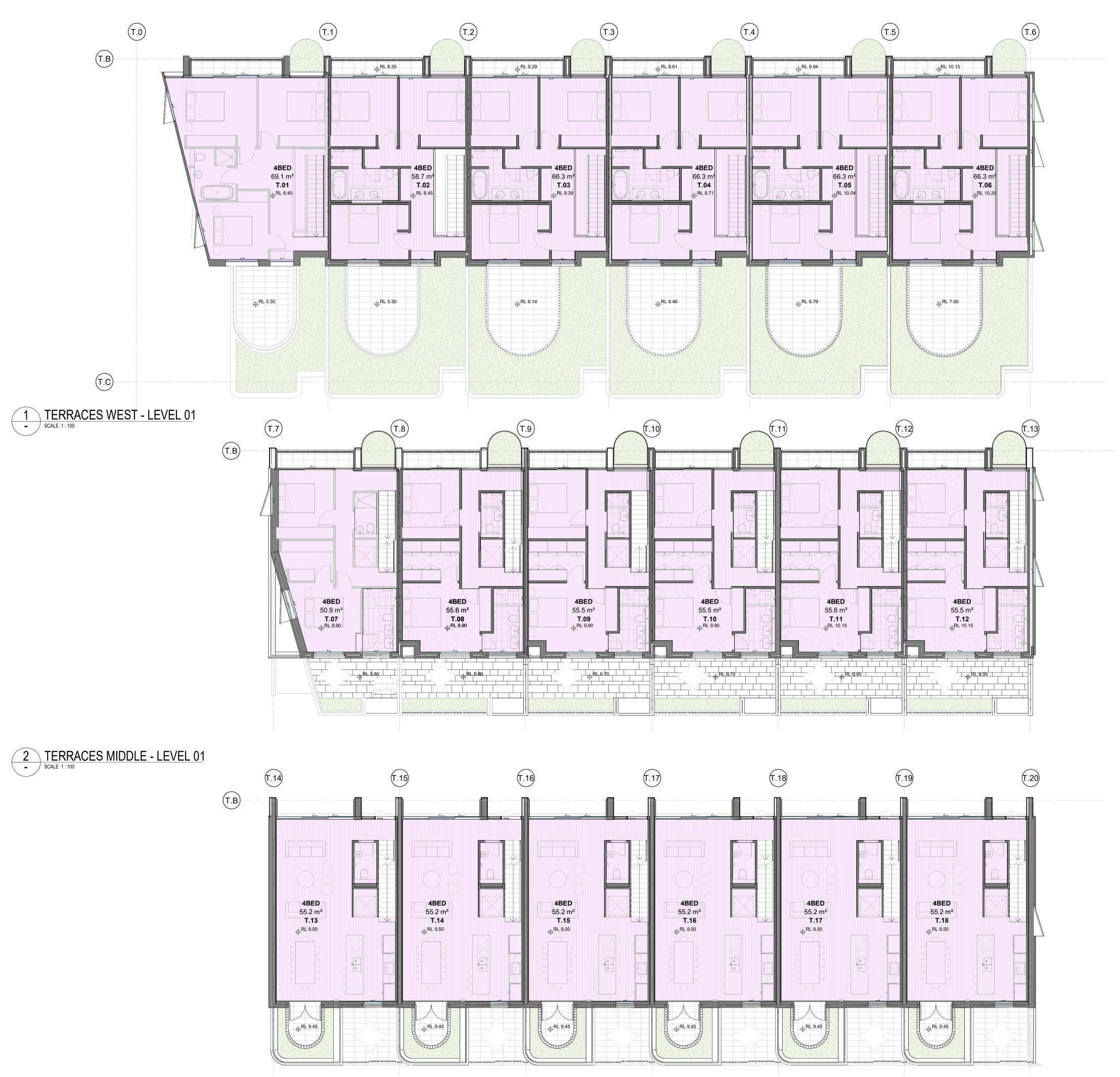
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20 Waterview St Putney 2112

FLOOR PLAN - TERRACES
- GROUND FLOOR

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DA-230	1	/ 3
Drawing No.		Revision
JS	SC	6810
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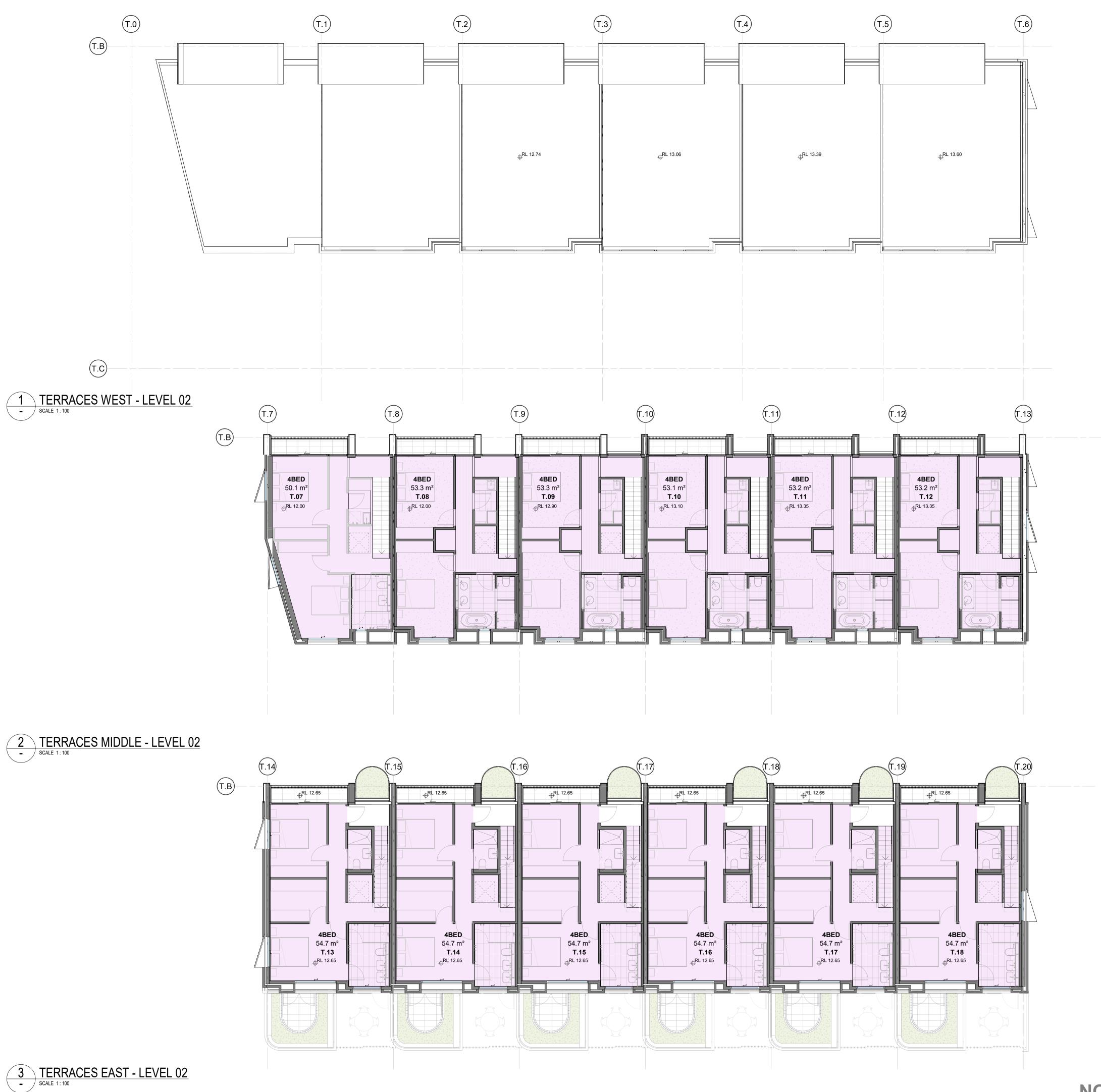
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FLOOR PLAN - TERRACES - LEVEL 01

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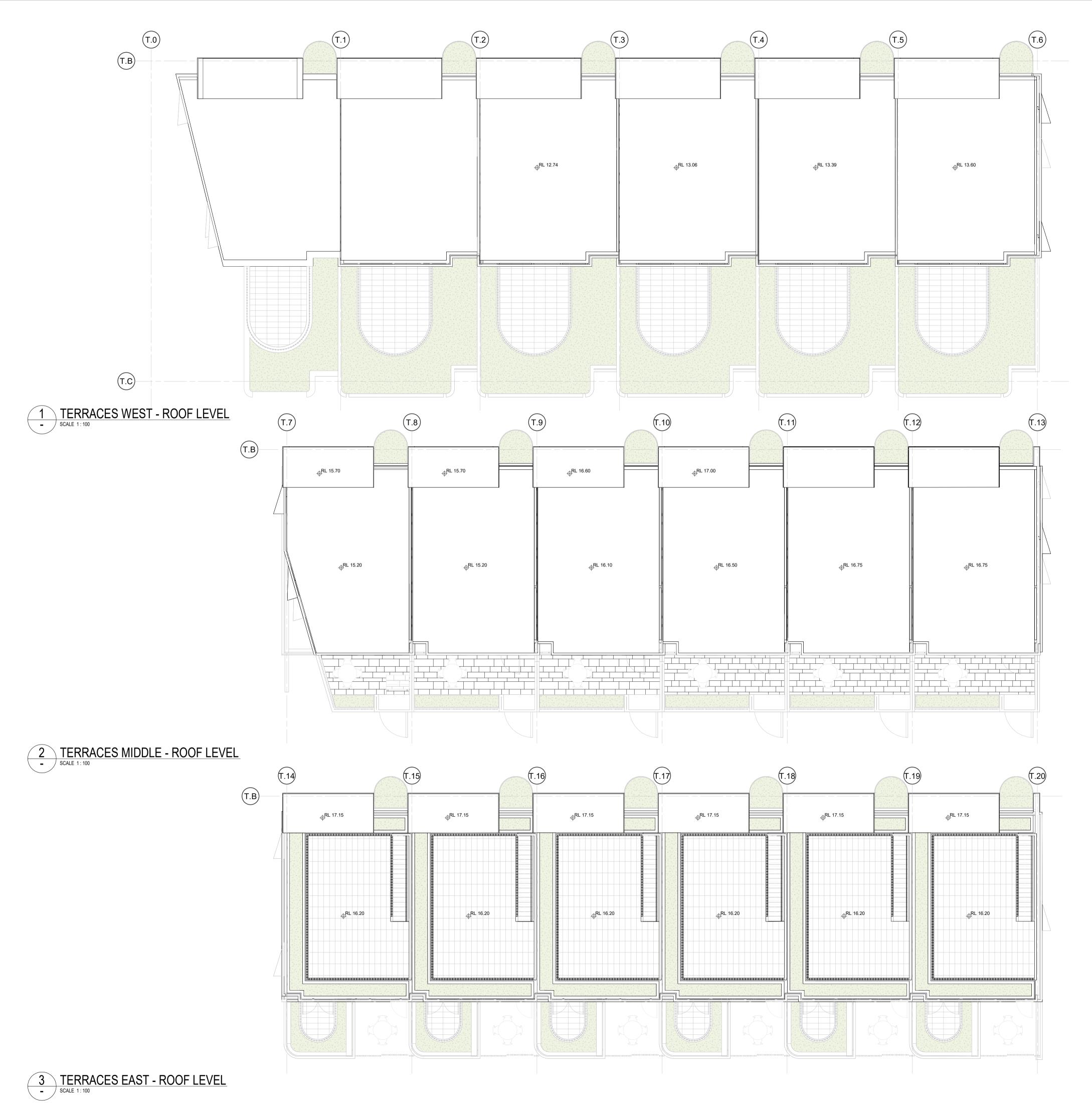
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FLOOR PLAN - TERRACES
- LEVEL 02

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DA-2303		/ 3



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FLOOR PLAN - TERRACES
- ROOF

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JS	SC	6810
Drawing No.		Revision
DA-2304		/ 3



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2	08/09/2023	ISSUED FOR APPROVAL	JS	SC
3	01/03/2024	AMENDED DA	JS	JP

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20 Waterview St Putney 2112

Drawing Name

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Rev	Date	Revision	Ву	Chk
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20 Waterview St Putney 2112

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	Date	Scale	Sheet S



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Rev	Date	Revision	Ву	Chk.
1	18/08/2023	DRAFT DA	JS	SC
2	08/09/2023	ISSUED FOR APPROVAL	JS	SC
3	01/03/2024	AMENDED DA	JS	JP

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20 Waterview St Putney 2112

Drawing Name
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Date	Scale	Sheet Si
01/03/20	24	@ A
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DA-2	503	/ 3



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2	08/09/2023	ISSUED FOR APPROVAL	JS	SC
3	01/03/2024	AMENDED DA	JS	JP

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Drawing Name
PERSPECTIVE / RENDER

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Drawn	Chk.	Job N
JS	SC	681
Drawing No.		Revision
DA-2	504	/ 3



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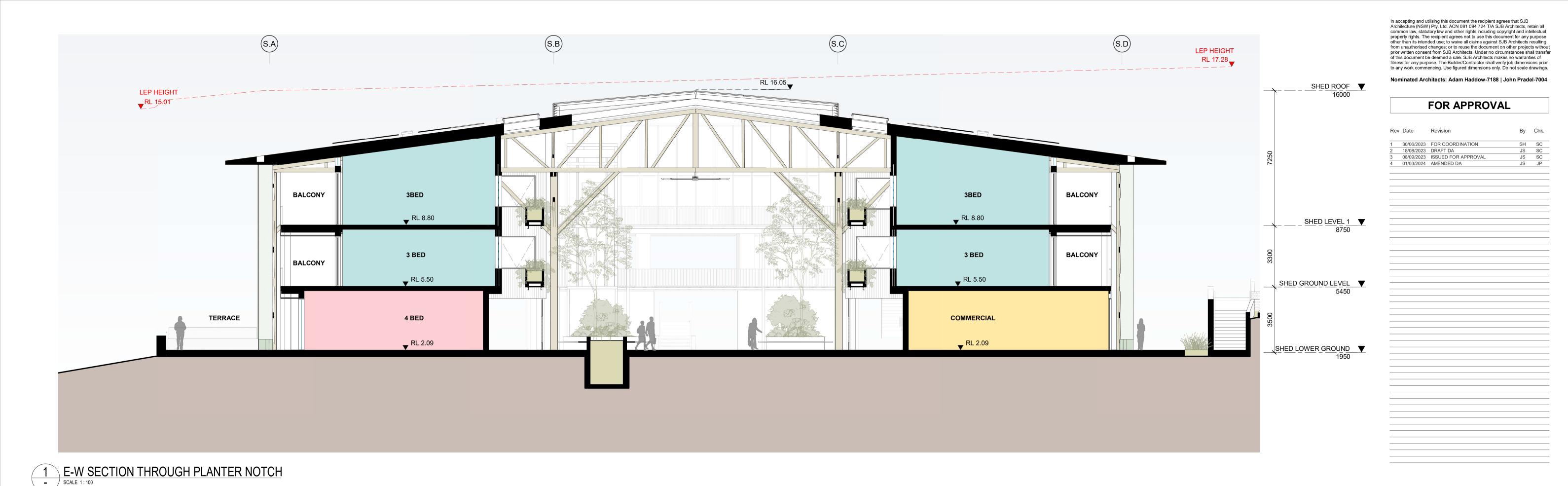
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Drawing Name

PERSPECTIVE / RENDER

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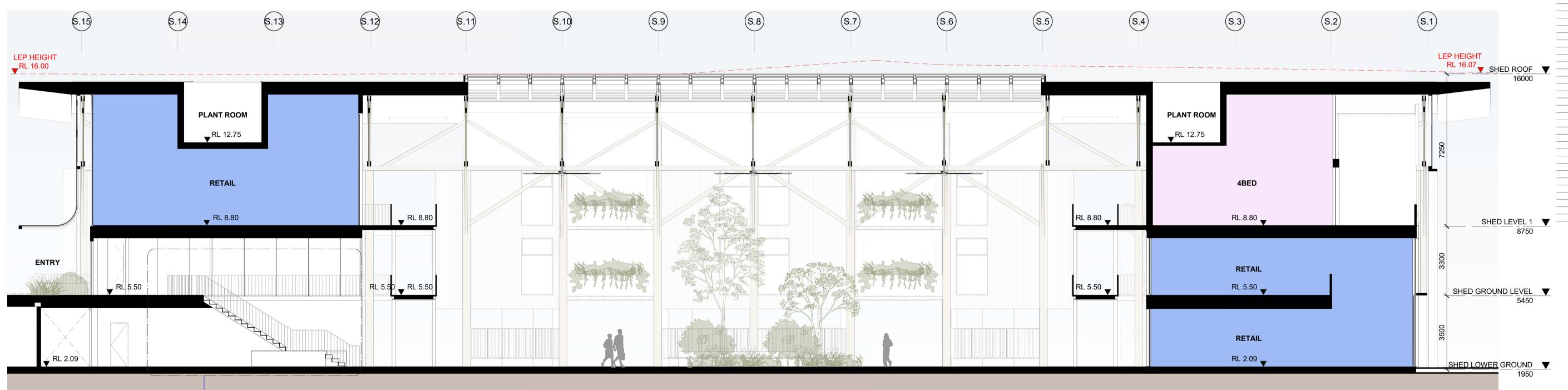


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1 N-S SECTION THROUGH SHED
- SCALE 1: 100

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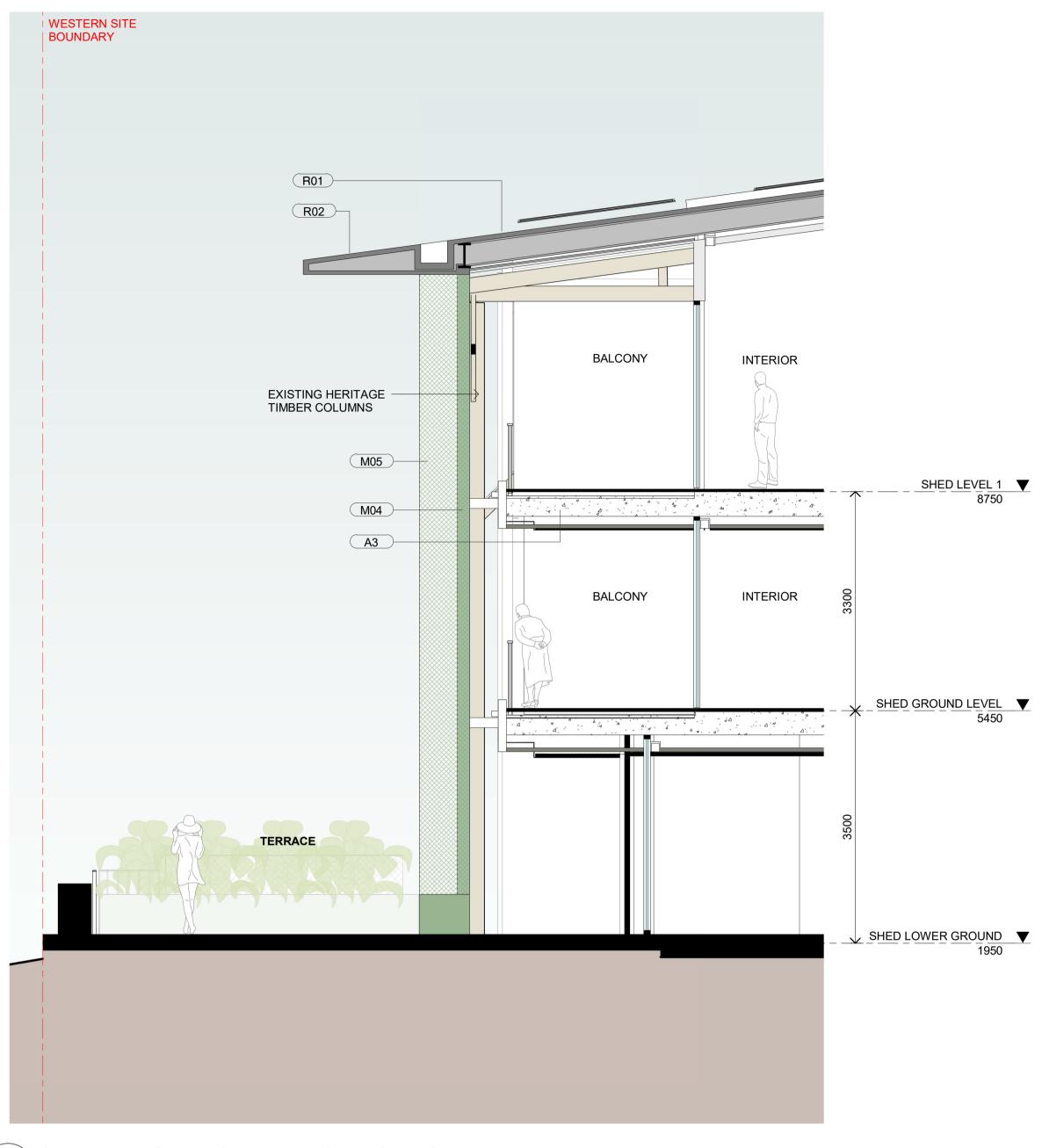
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20 Waterview St Putney 2112

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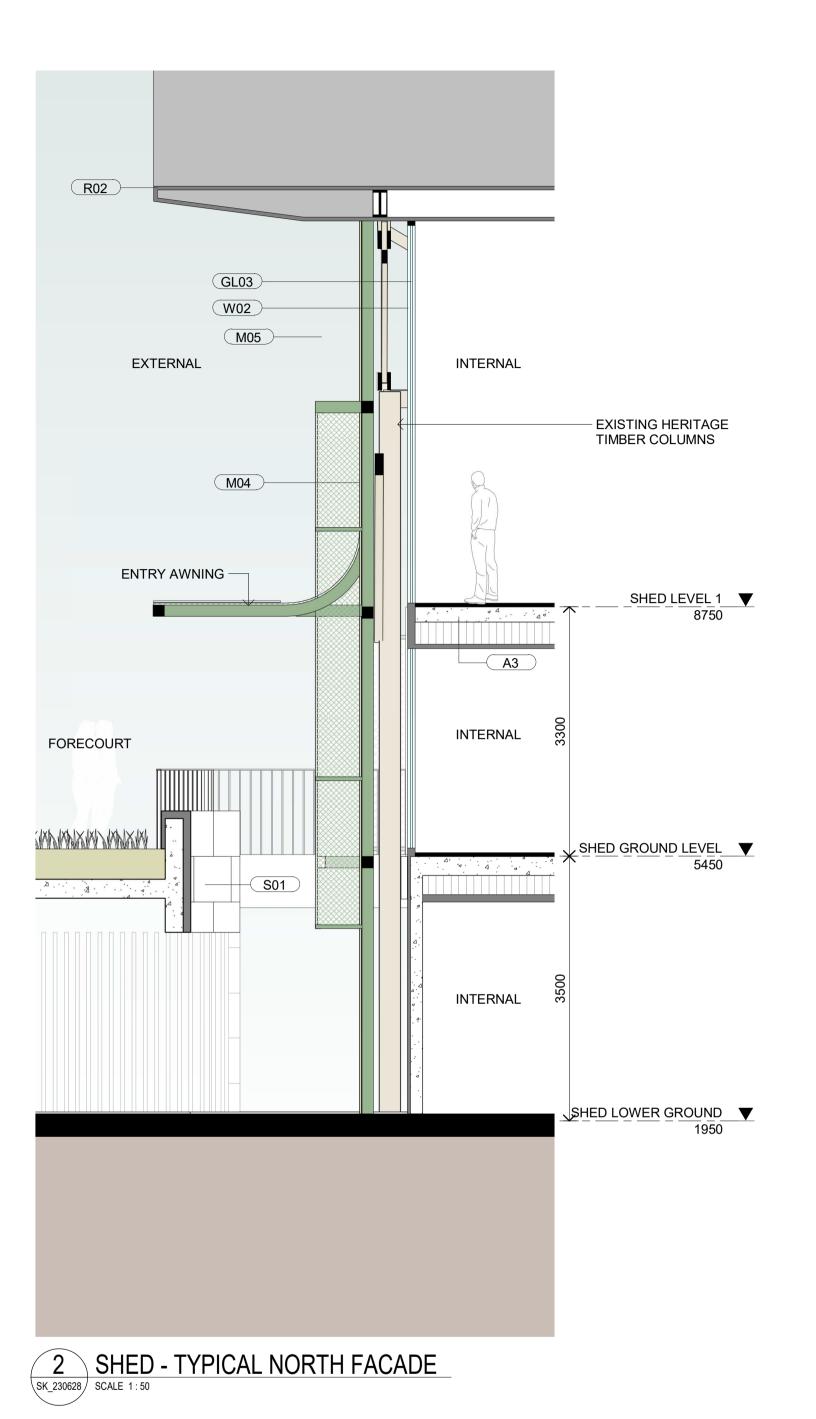
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Drawing No.		Revision
Drawing No.	1	Rev



1 SHED - TYPICAL EAST AND WEST FACADES

SCALE 1:50



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2 18/08/2023 DRAFT DA JS S 3 08/09/2023 ISSUED FOR APPROVAL JS S 4 01/03/2024 AMENDED DA JS J	Rev	Date	Revision	Ву	Chk
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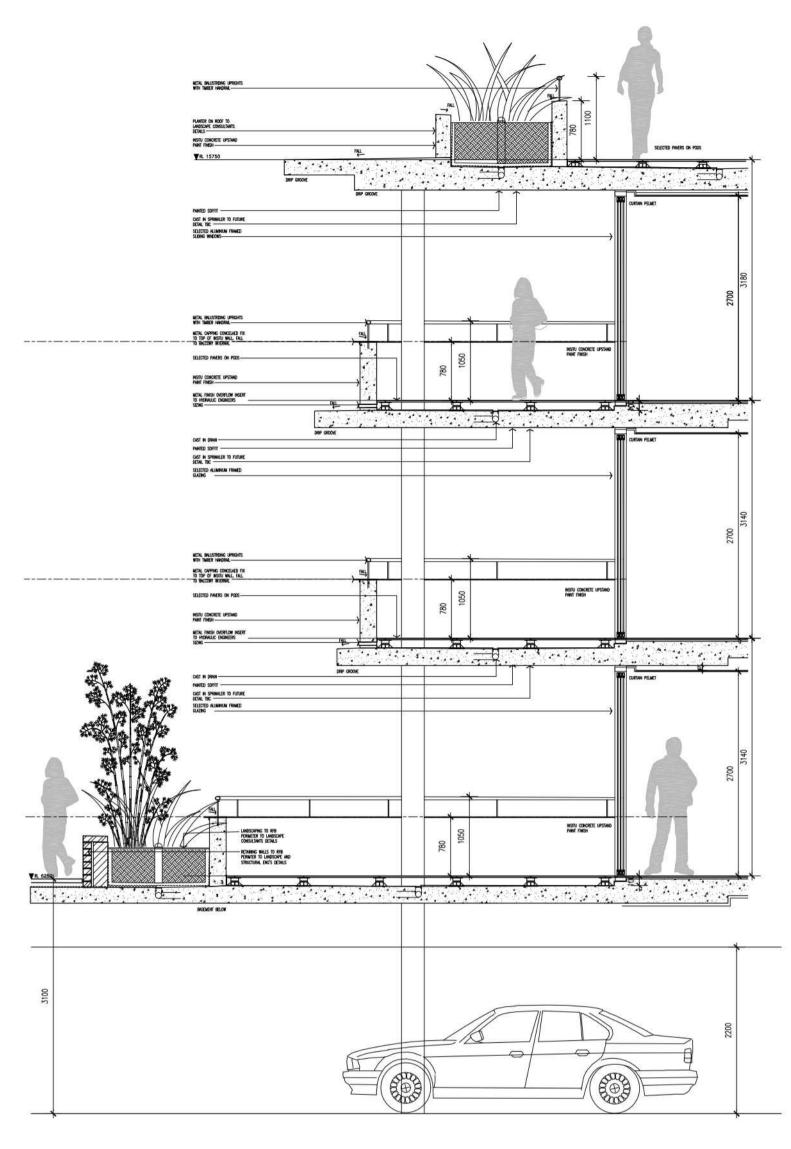
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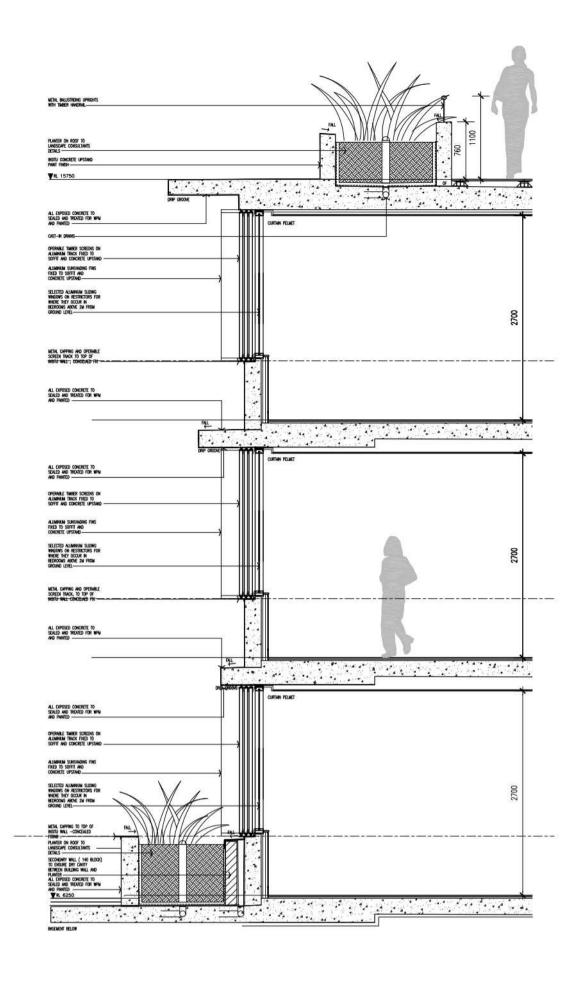
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DA-260	2	/ 5
Drawing No.		Revision
JS	SC	6810
Drawn	Chk.	Job No.
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1 WALL SECTION - RFB BALCONY
SCALE 1:50



2 WALL SECTION - RFB LIVING
SCALE 1:50

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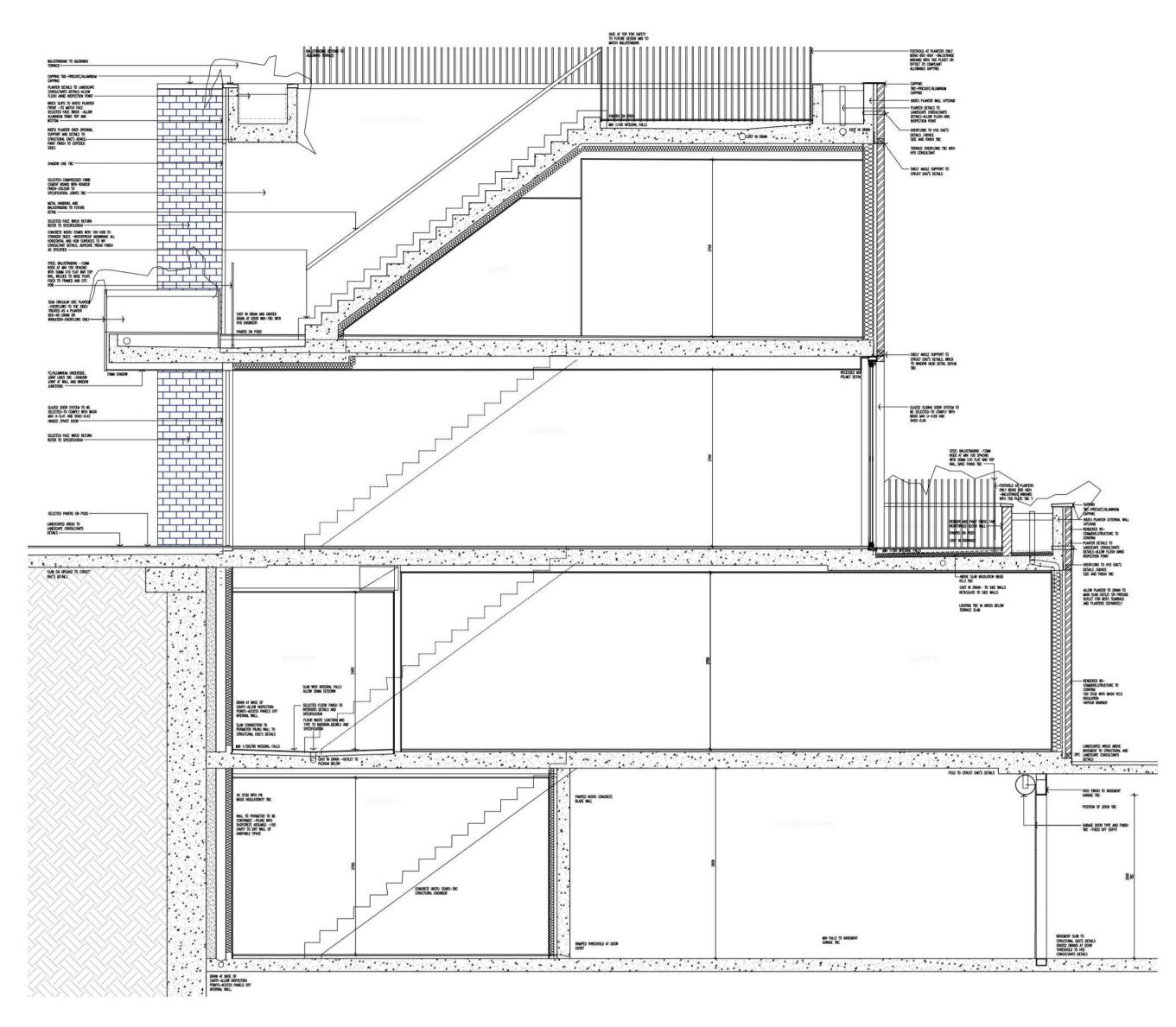
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Drawing Name
WALL SECTION - RFB

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Date	Scale	Sheet Size
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JS	SC	6810
Drawing No.		Revision
DA-260)3	/ 1





1 WALL SECTION - TERRACE
SCALE 1:50

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1 08/05/2024 COUNCIL RFI JS	Rev	Date	Revision	Ву
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20 Waterview St Putney 2112

Drawing Name
WALL SECTION TERRACE

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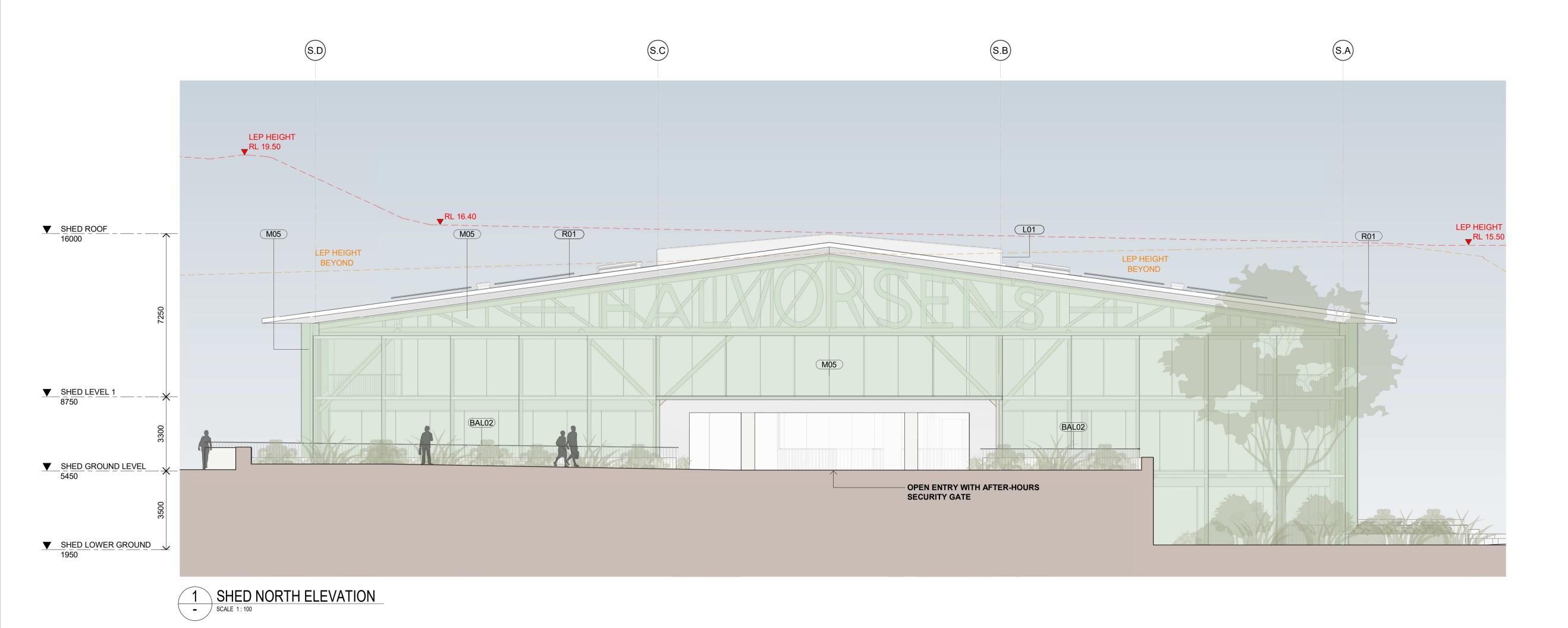
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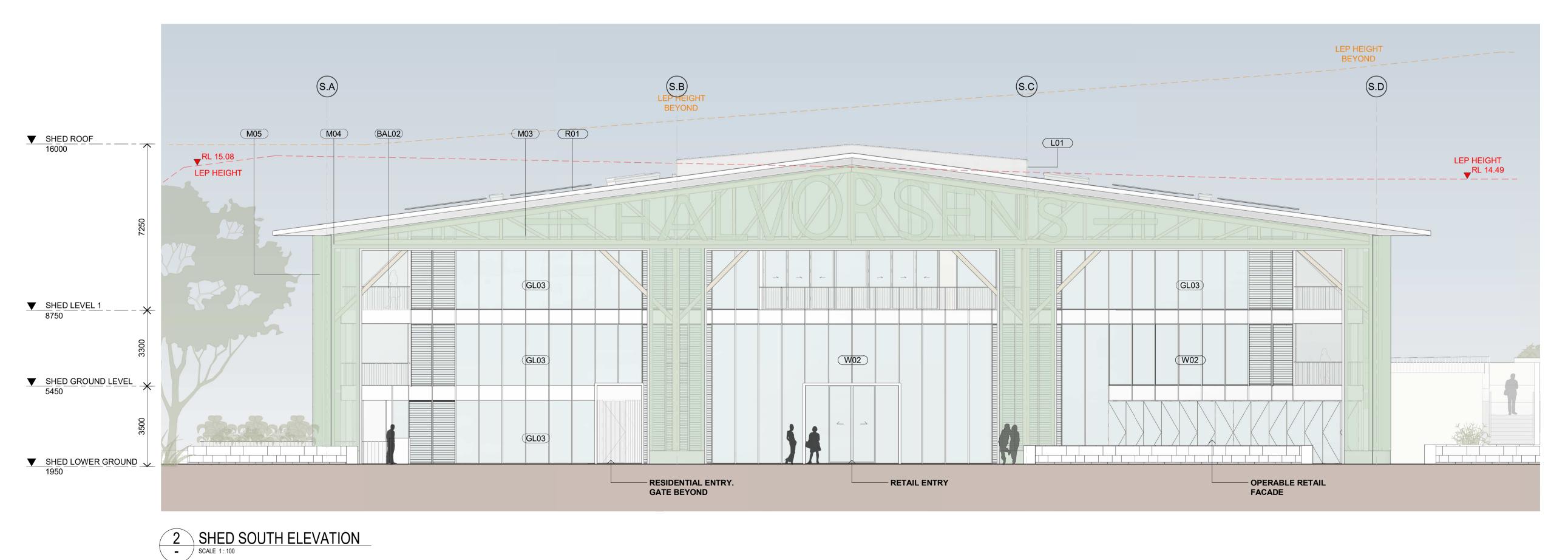
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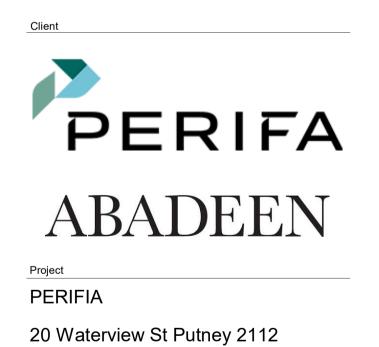
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SHED ELEVATIONS -NORTH, SOUTH

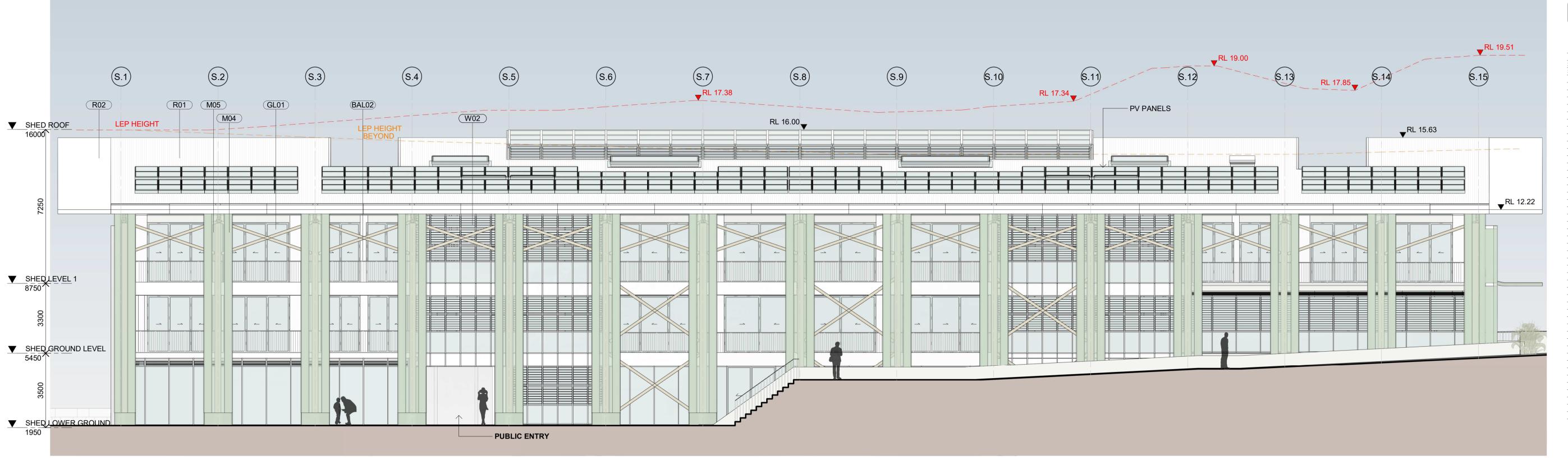
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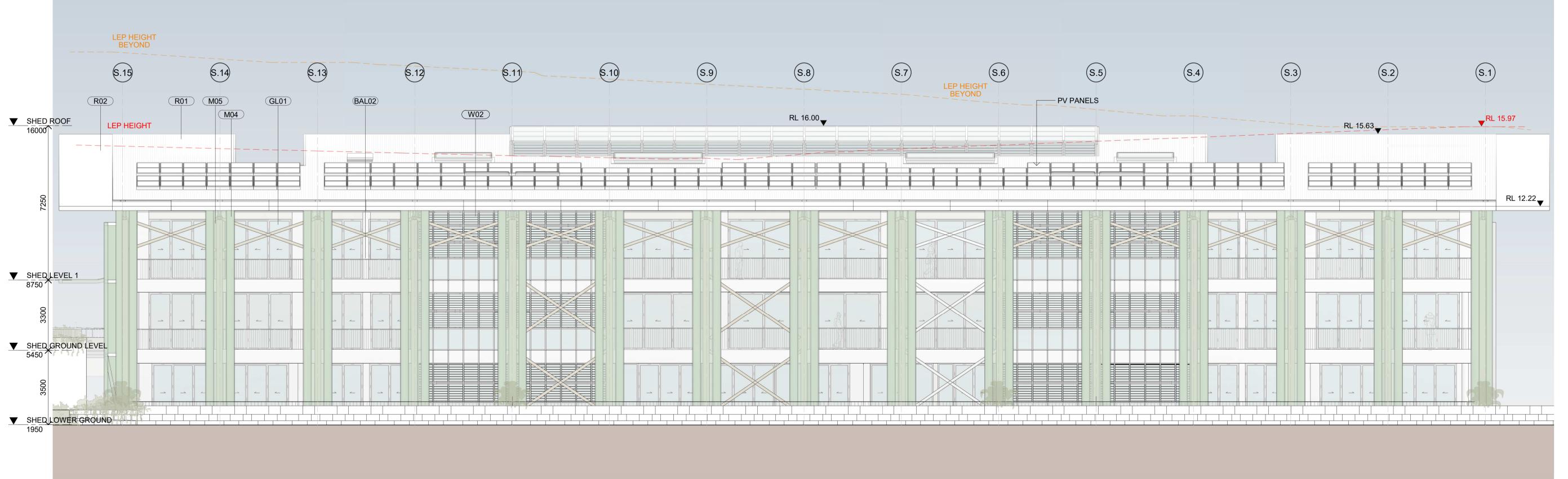


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1 SHED EAST ELEVATION
- SCALE 1: 100



2 SHED WEST ELEVATION
SCALE 1:100



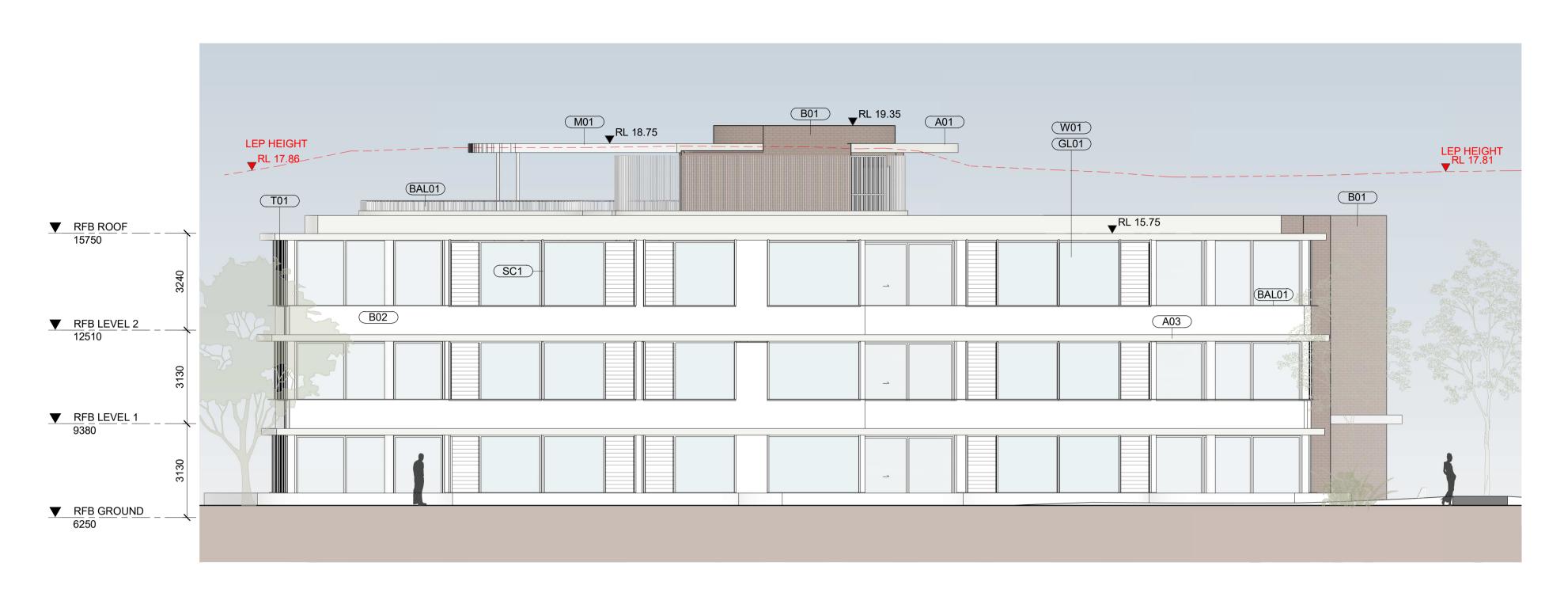
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Drawing Name
SHED ELEVATIONS EAST, WEST

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Drawing No.		Revision
DA-310	1	/ 3





1 RFB EAST - NORTH ELEVATION
SCALE 1:100



2 RFB EAST - SOUTH ELEVATION
SCALE 1: 100

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20 Waterview St Putney 2112

Drawing Name
RFB EAST ELEVATIONS NORTH, SOUTH

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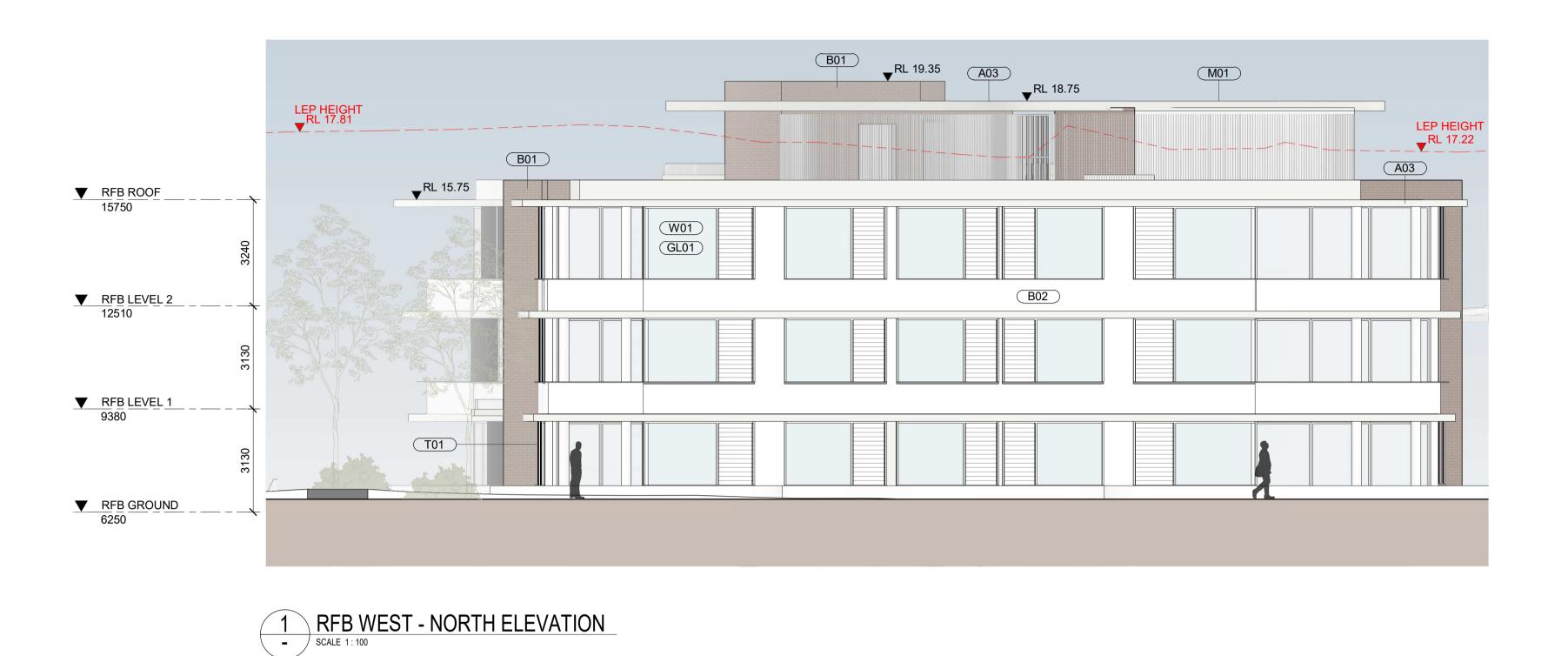
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 Drawing No.
 Revision

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2 RFB WEST - SOUTH ELEVATION
SCALE 1:100

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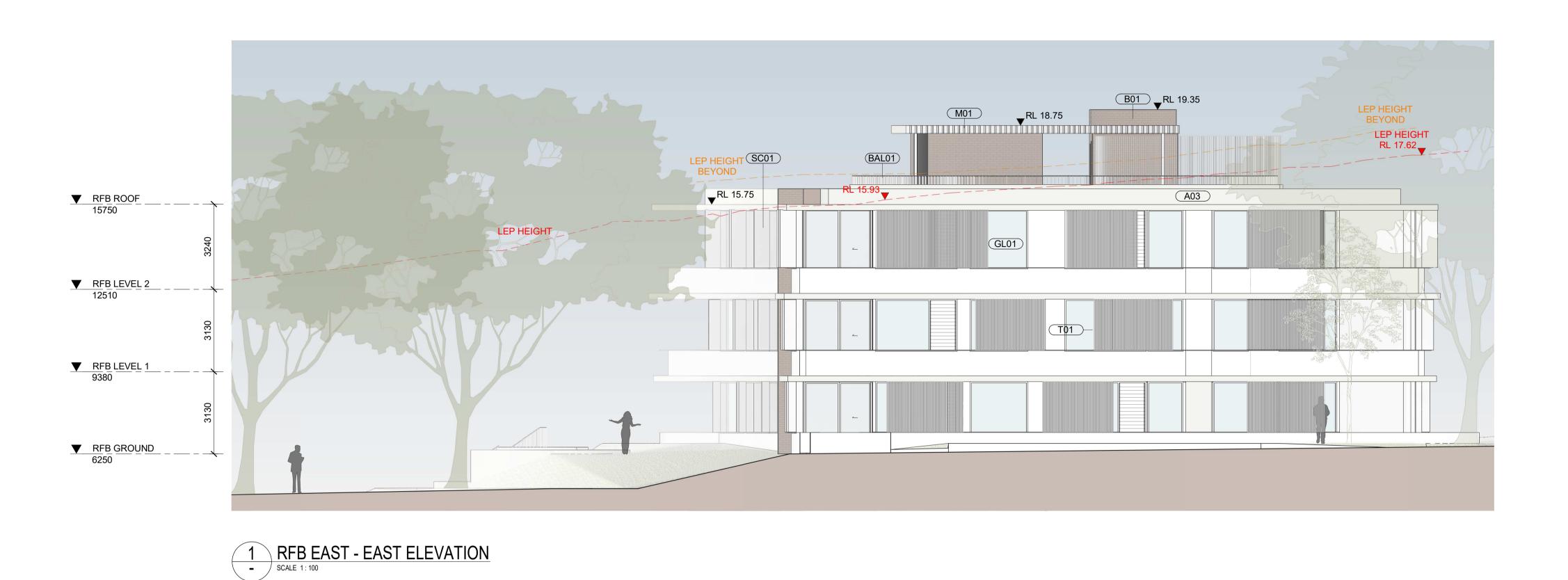
Project
PERIFIA

20 Waterview St Putney 2112

RFB WEST ELEVATIONS -NORTH, SOUTH

0 100 500 1000mr 1:100 @A1

DA-320	1	/ 3
Drawing No.		Revision
JS	SC	6810
Drawn	Chk.	Job No.
01/03/2024	1 : 100	@ A1
Date	Scale	Sheet Size



RL 19.35 BBT BDQ RL 18.77 RL 16.88 LEP HEIGHT RL 17.77 BBAIDT RL 16.88 AB3 LEP HEIGHT RL 15.75 BBQ DBAIDT RL 16.88 AB3 LEP HEIGHT RL 15.75 BBQ DBAIDT RL 16.88 AB3 LEP HEIGHT RL 15.75 BBQ DBAIDT RL 16.88 AB3 LEP HEIGHT RL 15.75 BBQ DBAIDT RL 16.88 AB3 LEP HEIGHT RL 16.85 AB3 LEP HEIGHT RL 16.8

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Project
PERIFIA

20 Waterview St Putney 2112

Drawing Name
RFB EAST ELEVATIONS EAST, WEST

0 100 500 1000mi 1:100 @A1

Drawing No.		Revision
JS 		
JS	SC	6810
Drawn	Chk.	Job No.
01/03/2024	1:100	@ A1
Date	Scale	Sheet Size



1 RFB WEST - EAST ELEVATION
SCALE 1:100



2 RFB WEST - WEST ELEVATION
SCALE 1:100

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	FOR APPROVAL			
Rev	Date	Revision	Ву	C
1		DRAFT DA	JS	S
2	08/09/2023	ISSUED FOR APPROVAL	JS	S
3	01/03/2024	AMENDED DA	JS	



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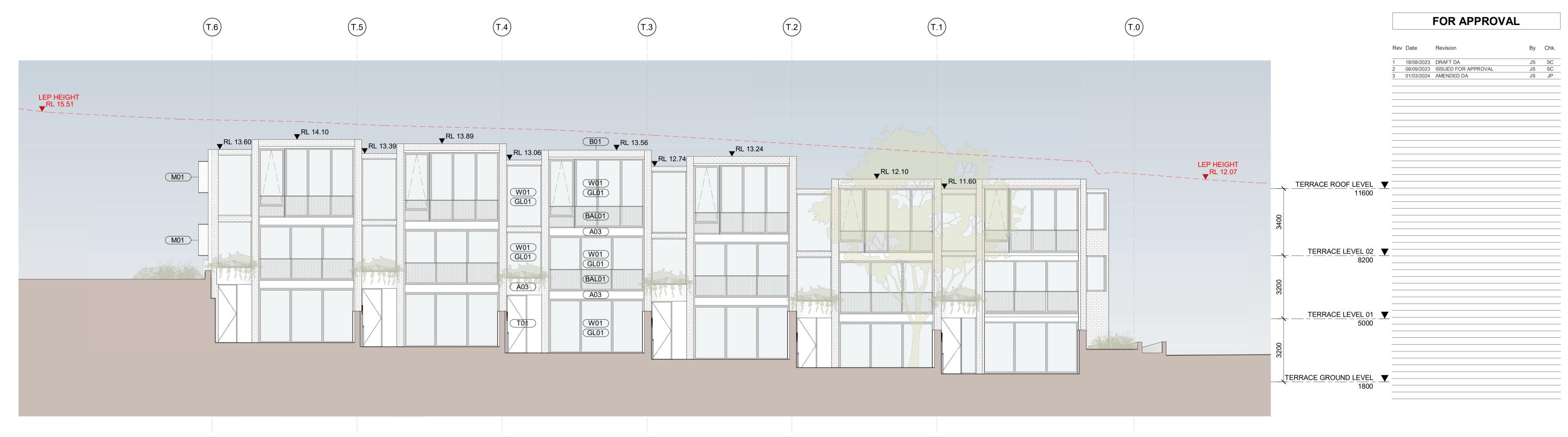
20 Waterview St Putney 2112

Drawing Name

RFB WEST ELEVATIONS -EAST, WEST

Date	Scale	Sheet Size
01/03/2024	1 : 100	@ A1
Drawn	Chk.	Job No.
JS	SC	6810
Drawing No.		Revision
DA-320	3	/ 3

Nominated Architects: Adam Haddow-7188 | John Pradel-7004





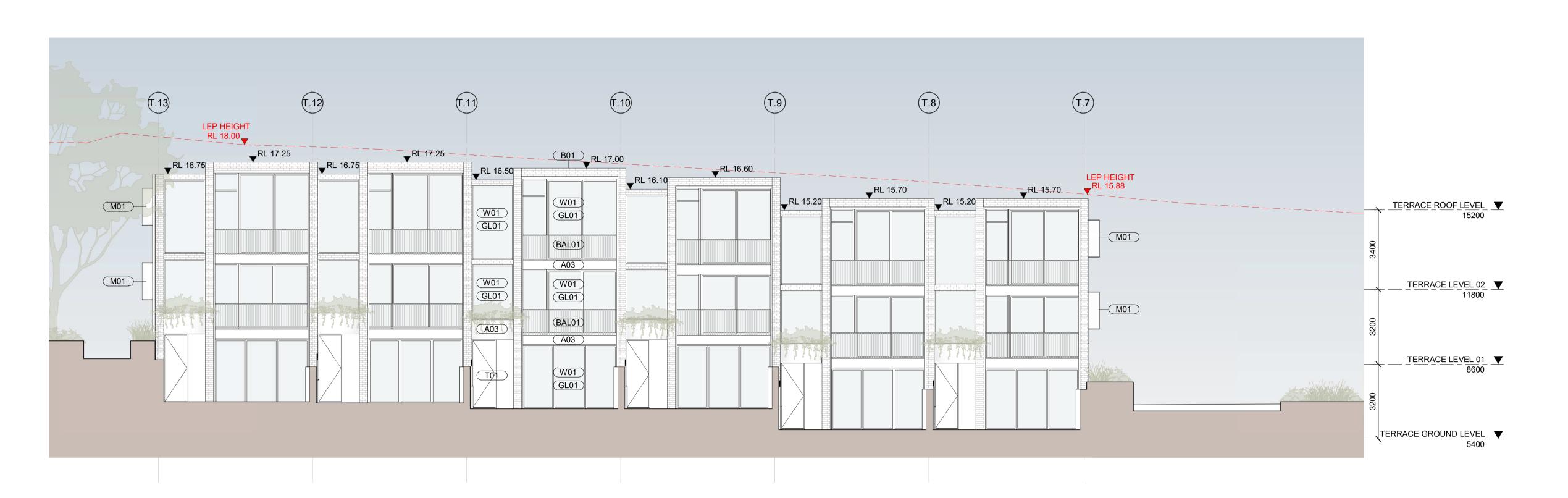


2 TERRACES WEST - SOUTH ELEVATION
SCALE 1:100

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Surry Hills NSW 2010
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DA-3300

Revision / 3



1 TERRACES MIDDLE - NORTH ELEVATION
- SCALE 1:100



2 TERRACES MIDDLE - SOUTH ELEVATION
SCALE 1: 100



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FOR APPROVAL

By Chk.

Rev Date Revision

08/09/2023 ISSUED FOR APPROVA 01/03/2024 AMENDED DA



PERIFIA

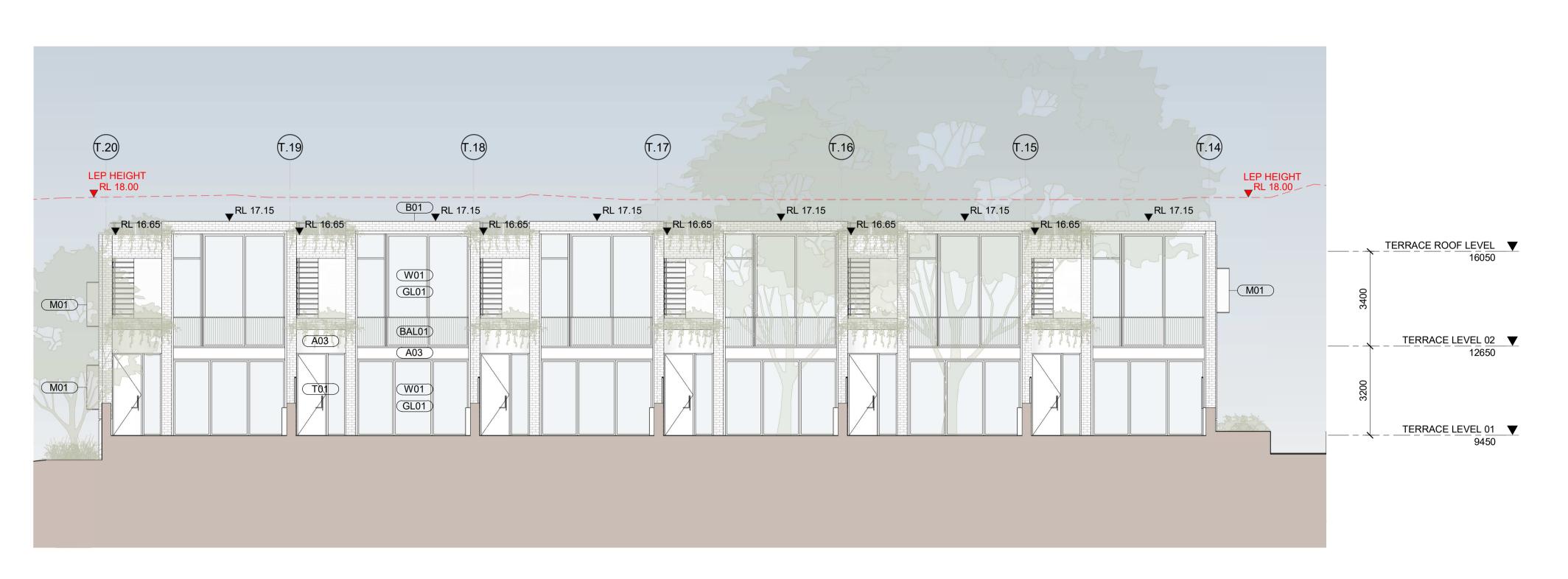
20 Waterview St Putney 2112

TERRACES MIDDLE ELEVATIONS - NORTH, SOUTH

Drawing Name

0 100 500 1000 1:100 @A1

DA-330	1	/ 3
Drawing No.		Revision
JS	SC	6810
Drawn	Chk.	Job No.
01/03/2024	1 : 100	@ A1
Date	Scale	Sheet Size



1 TERRACES EAST - NORTH ELEVATION
SCALE 1: 100



TERRACES EAST - SOUTH ELEVATION

SCALE 1:100

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Nominated Architects: Adam Haddow-7188 | John Pradel-7004

	FOR APPROVAL			
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Rev	Date	Revision	Ву	Ch
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2	08/09/2023	ISSUED FOR APPROVAL	JS	S
3	01/03/2024	AMENDED DA	JS	J

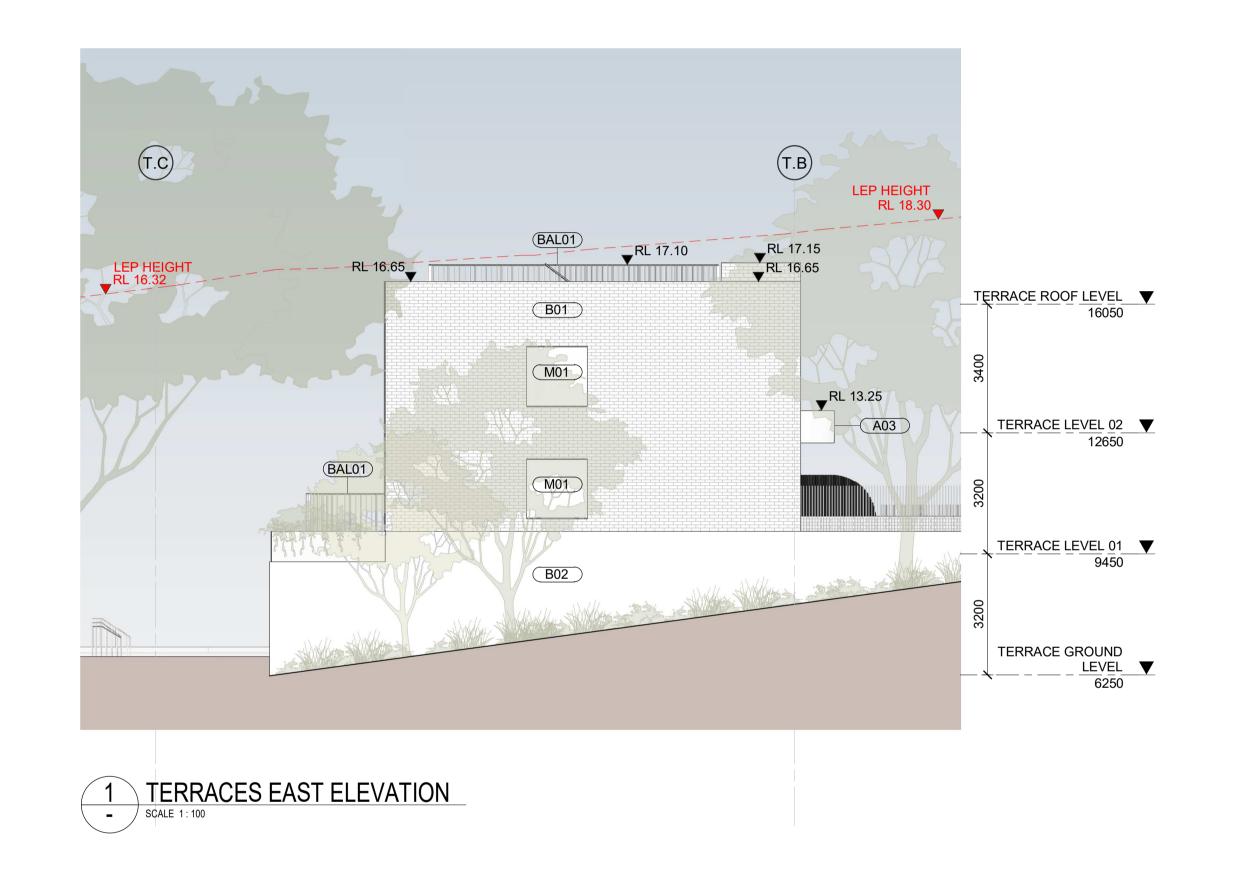


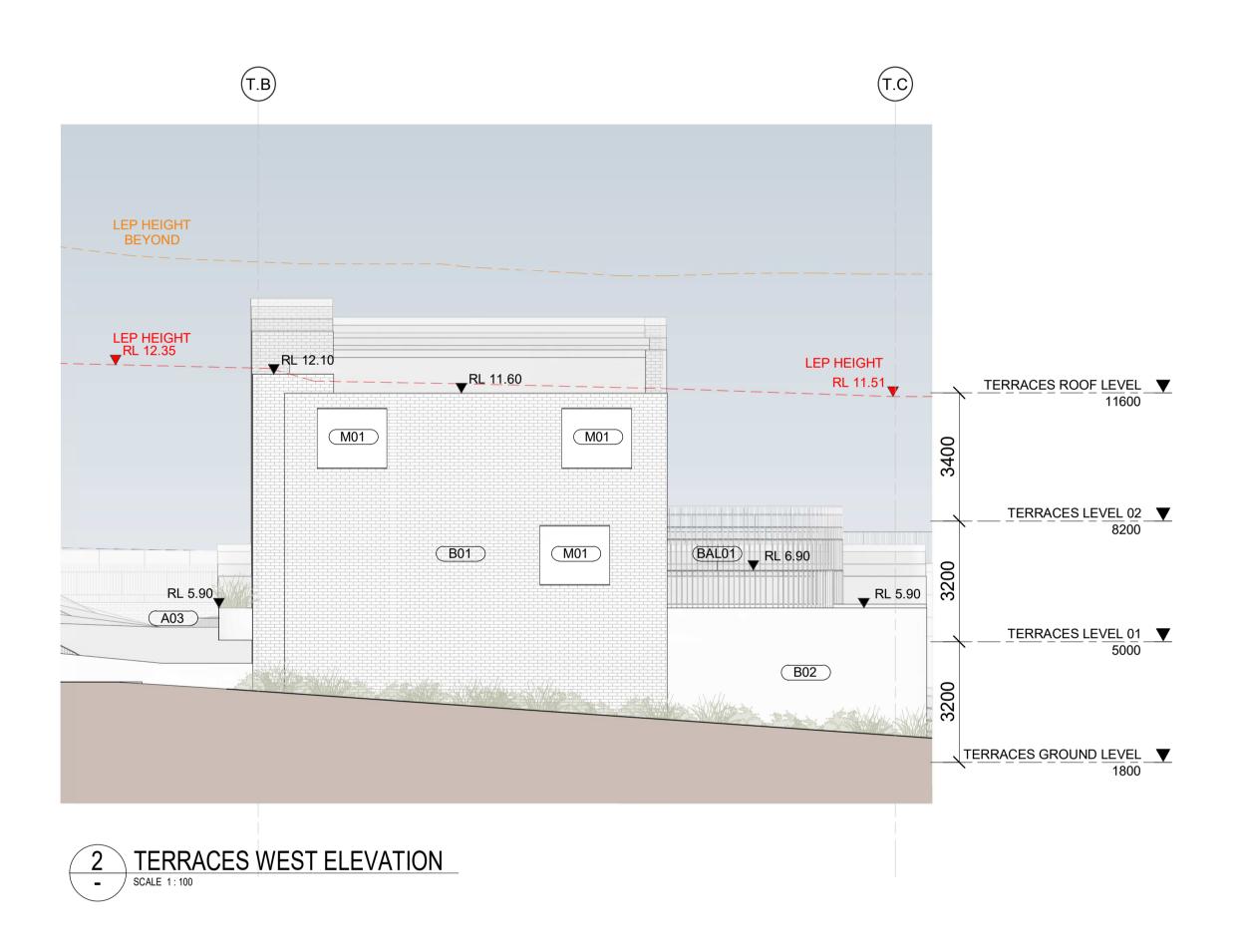
20 Waterview St Putney 2112

TERRACES EAST
ELEVATIONS - NORTH,
SOUTH

0 100 500 1000mi 1:100 @A1

Date	Scale	Sheet Size
01/03/2024	1:100	@ A1
Drawn	Chk.	Job No.
JS	SC	6810
Drawing No.		Revision
DA-330	2	/ 3





Nominated Architects: Adam Haddow-7188 | John Pradel-7004

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1 18/08/2023		JS
2 08/09/2023 3 01/03/2024		JS
3 01/03/2024	AMENDED DA	JS



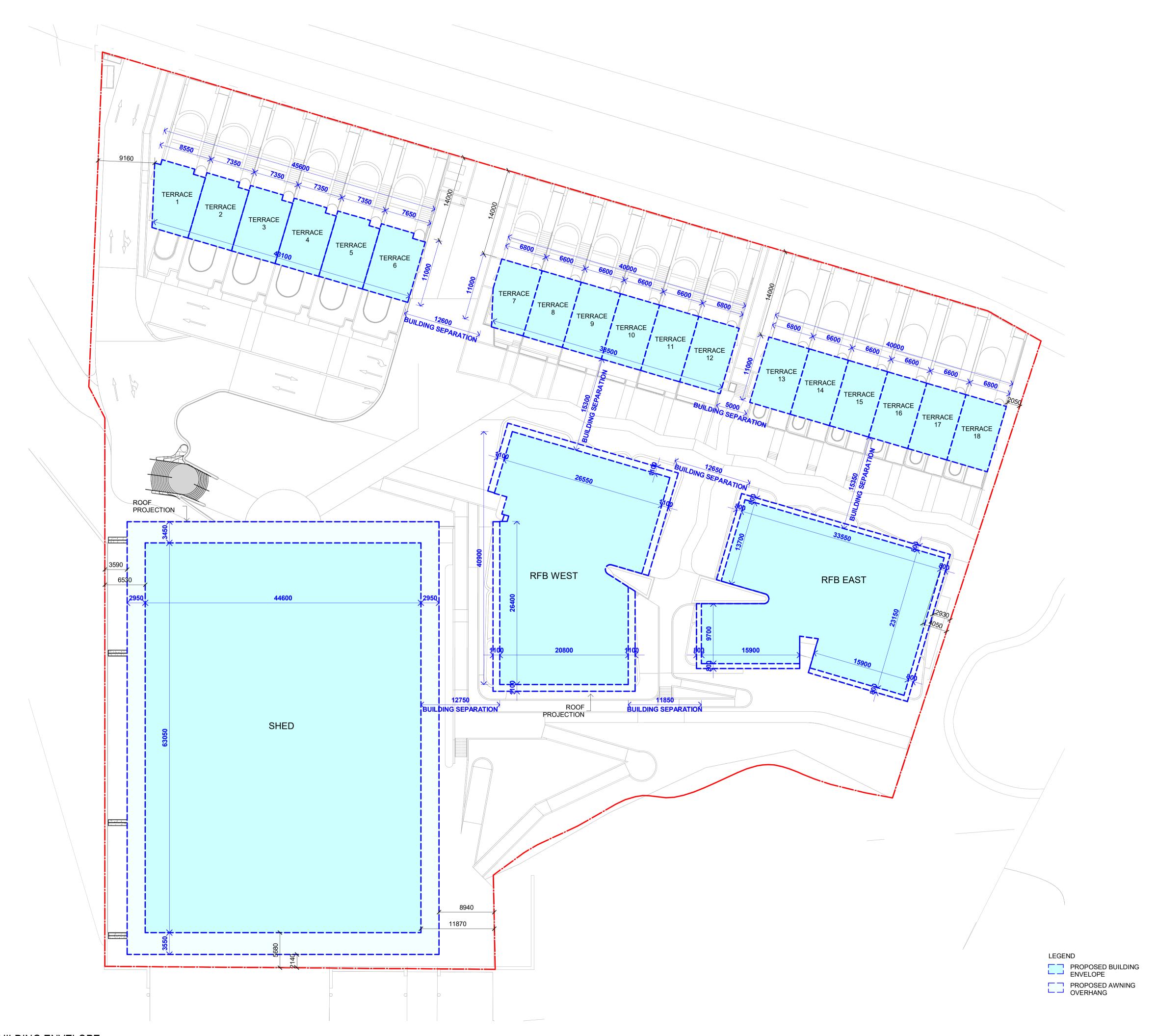
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20 Waterview St Putney 2112

Drawing Name

TERRACES ELEVATIONS - EAST, WEST

Scale	Sheet Size
1:100	@ A1
Chk.	Job No
SC	6810
	Revision
)3	/ 3
	1:100 Chk. SC



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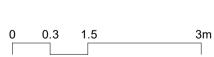
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2	08/09/2023	ISSUED FOR APPROVAL	JS
3	01/03/2024	AMENDED DA	JS

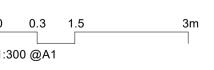


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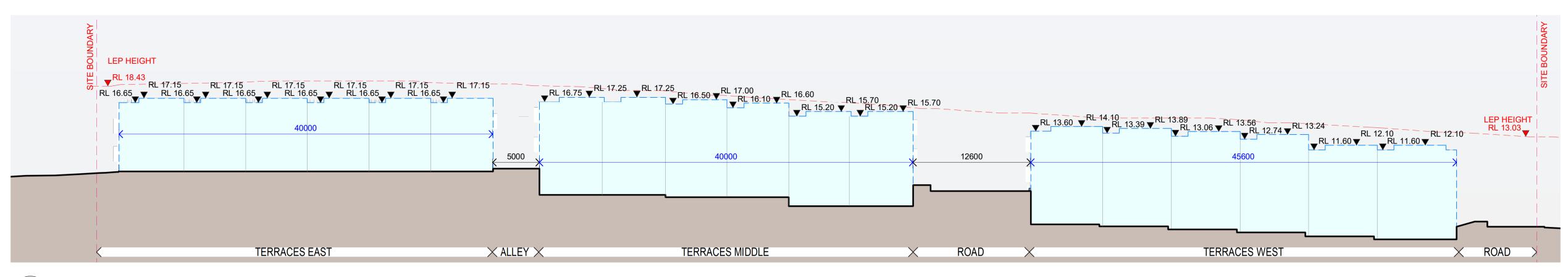
Drawing Name BUILDING ENVELOPE DIAGRAMS





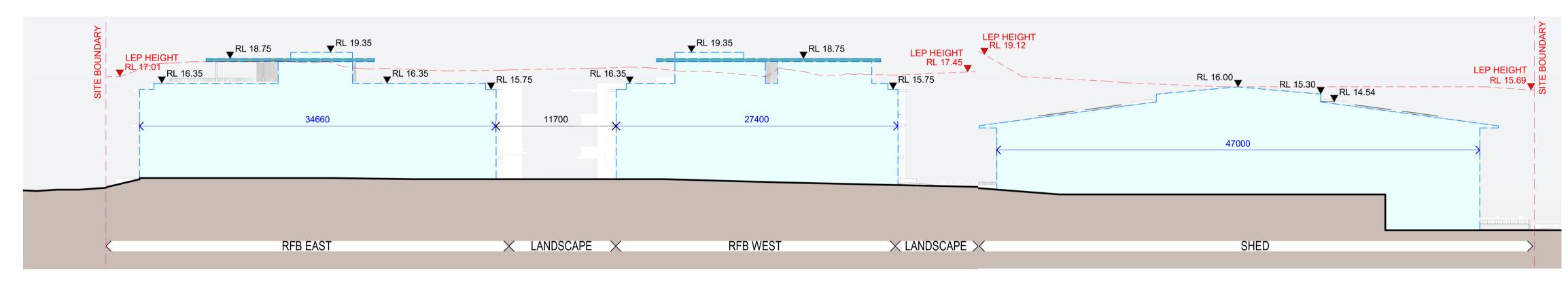
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01/03/2024	As indicated	@ A1
Drawn	Chk.	Job No.
JS	SC	6810
Drawing No.	1	Revision / 3



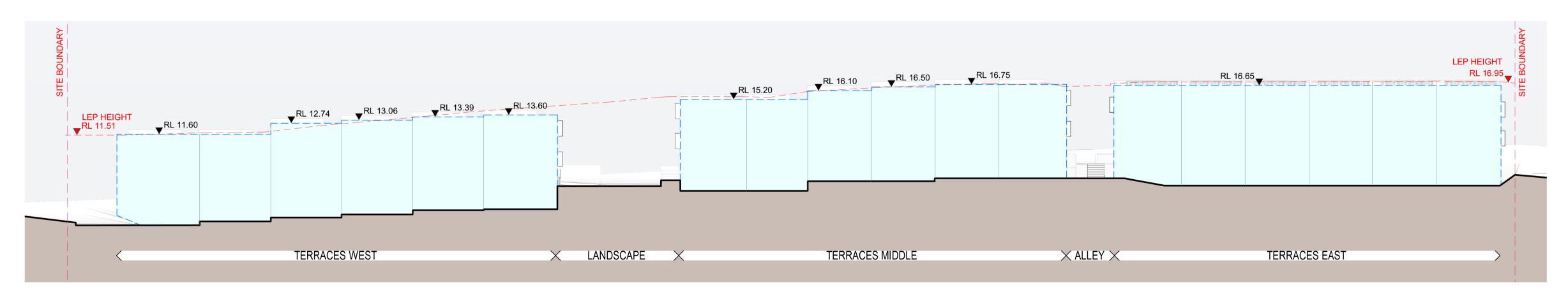


1 BUILDING ENVELOPE - NORTH ELEVATION A

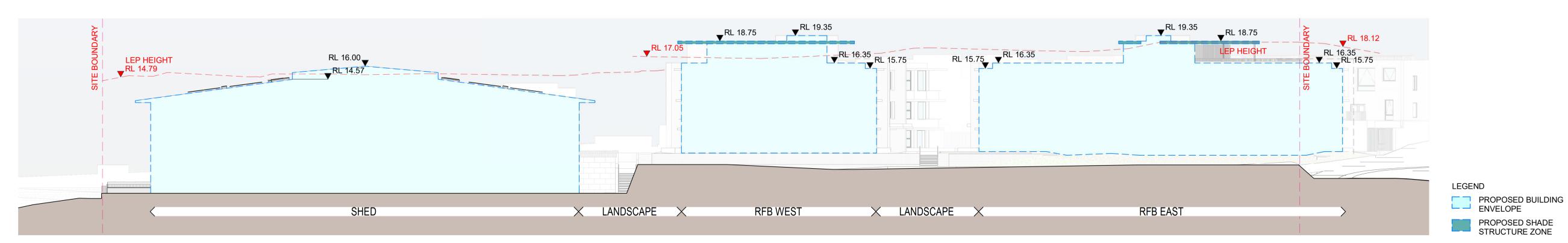
SCALE 1: 250



2 BUILDING ENVELOPE - RFB NORTH ELEVATION
SCALE 1: 250



3 BUILDING ENVELOPE - SOUTH ELEVATION A
SCALE 1: 250

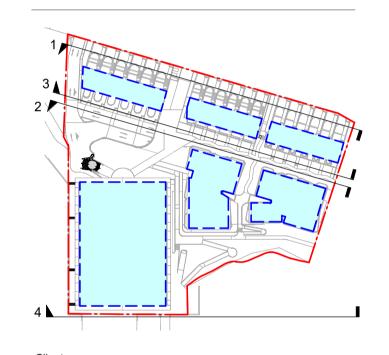


4 BUILDING ENVELOPE - SOUTH ELEVATION B
SCALE 1: 250

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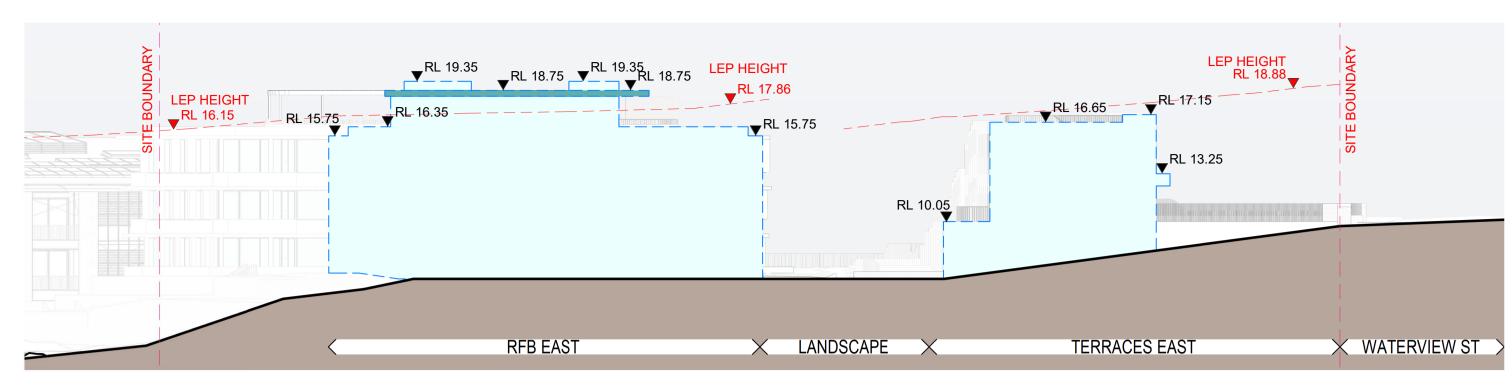
PERIFIA

20 Waterview St Putney 2112

Drawing Name **BUILDING ENVELOPE** DIAGRAMS

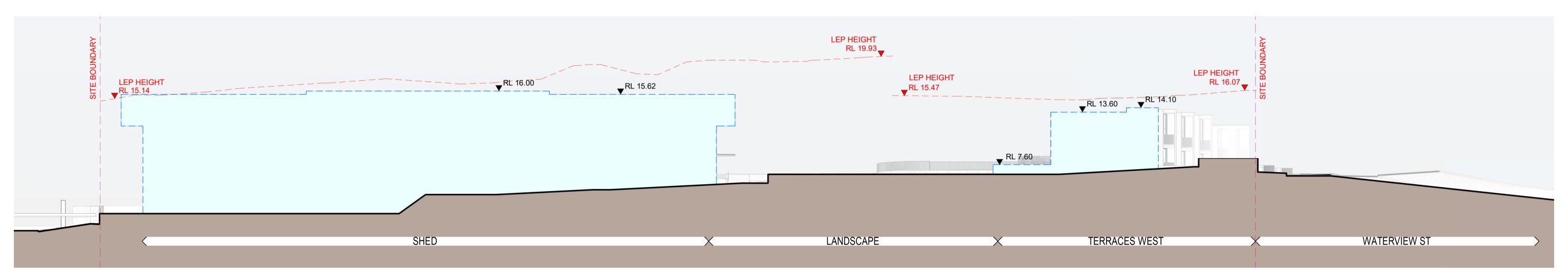
Date	Scale	Sheet Size
01/03/2024	As indicated	@ A1
Drawn	Chk.	Job No.
JS	SC	6810
Drawing No.		Revision
DA-3502		/ 2

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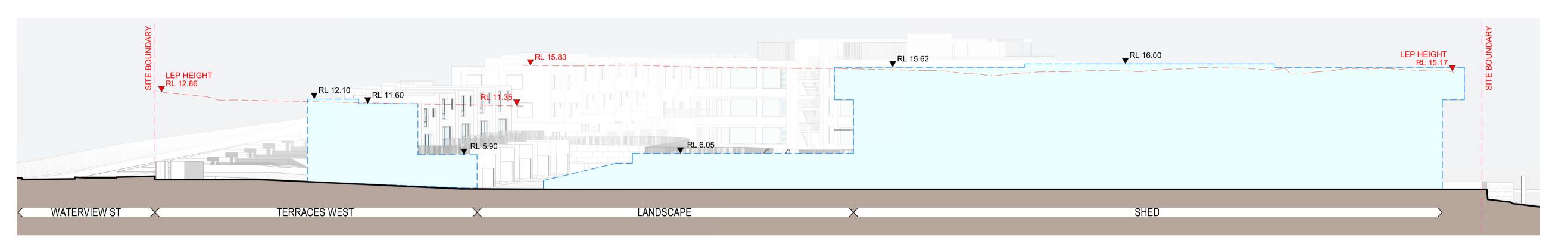


1 BUILDING ENVELOPE - EAST ELEVATION A

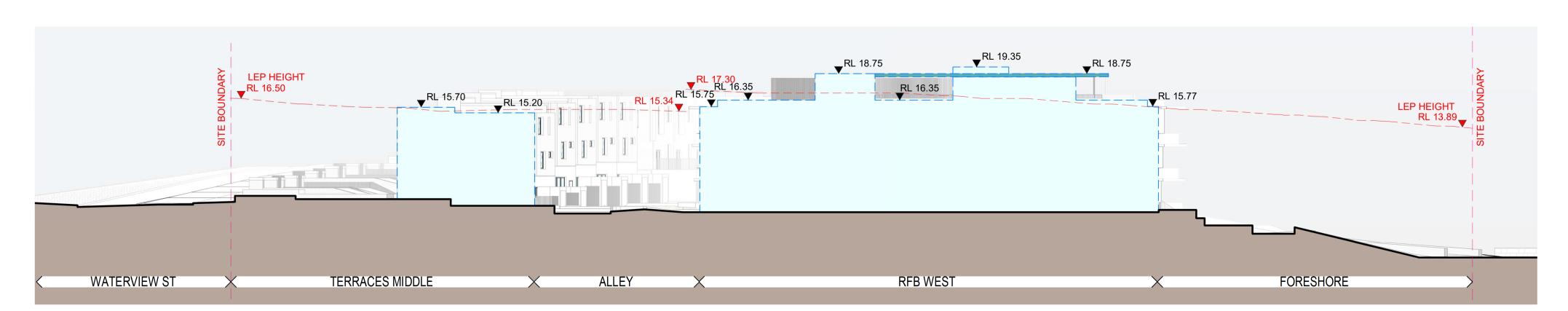
SCALE 1: 250



2 BUILDING ENVELOPE - EAST ELEVATION B
SCALE 1: 250



3 BUILDING ENVELOPE - WEST ELEVATION A
SCALE 1: 250



4 BUILDING ENVELOPE - WEST ELEVATION B
SCALE 1: 250

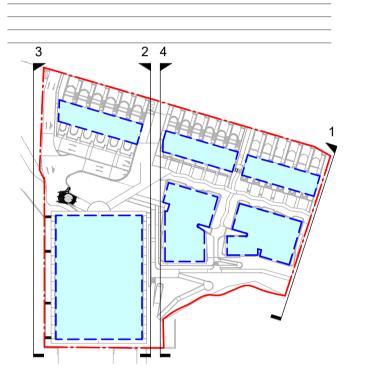
PROPOSED SHADE STRUCTURE ZONE

PROPOSED BUILDING ENVELOPE

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Rev	Date	Revision	Ву	Chk
1	18/08/2023	DRAFT DA	JS	SC
2	08/09/2023	ISSUED FOR APPROVAL	JS	SC
3	01/03/2024	AMENDED DA	JS	JP





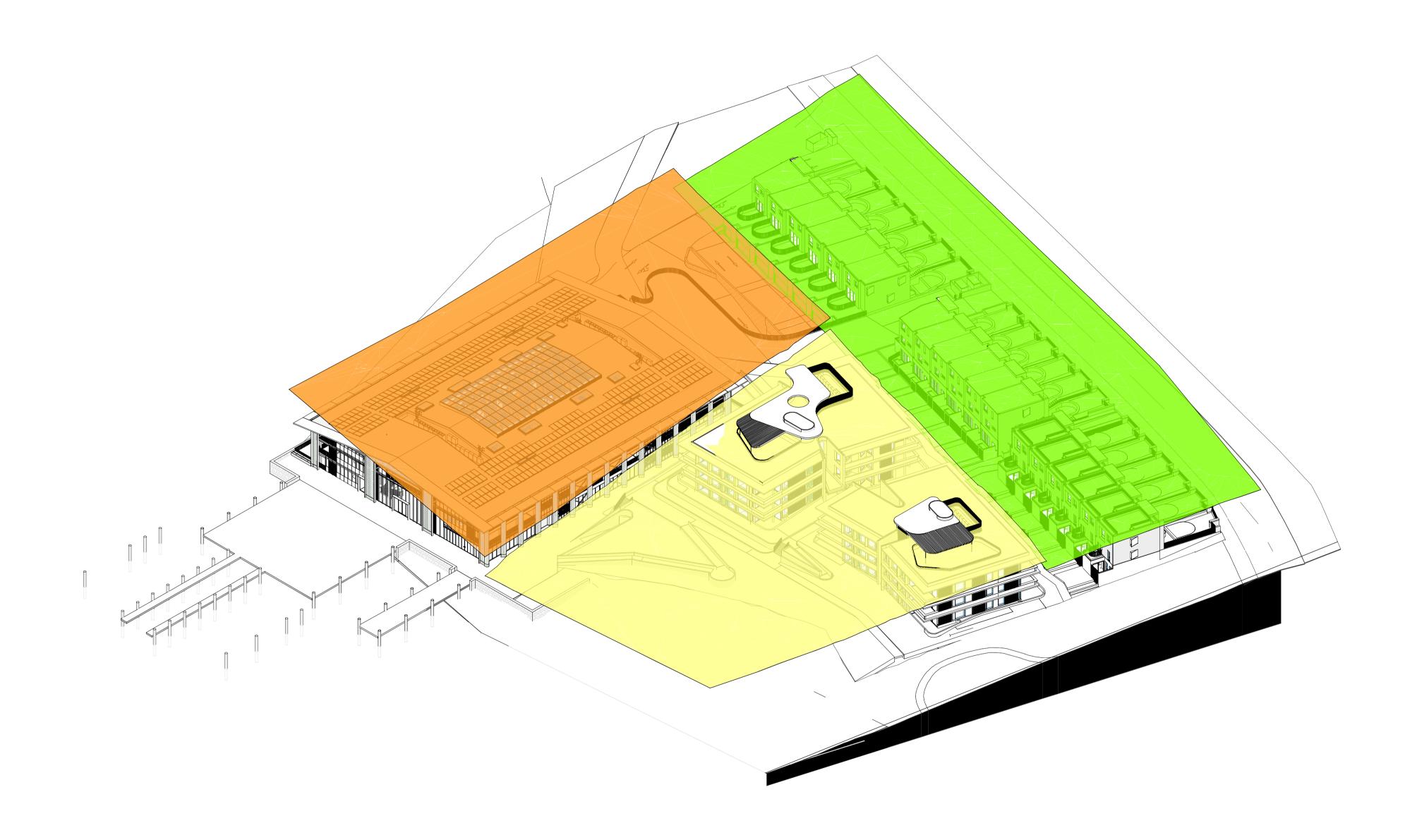
20 Waterview St Putney 2112

Drawing Name
BUILDING ENVELOPE
DIAGRAMS

0 250 1250 2500mm 1:250 @A1

Date	Scale	Sheet Size
01/03/2024	As indicated	@ A1
Drawn	Chk.	Job No.
JS	SC	6810
Drawing No.		Revision
DA-350	3	/ 3

LEGEND





LEP 14m HEIGHT PLANE

LEP 11.5m HEIGHT PLANE

LEP 9.5m HEIGHT PLANE

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1	08/09/2023	ISSUED FOR APPROVAL	JS	SC
2	01/03/2024	AMENDED DA	JS	ID

PERIFA

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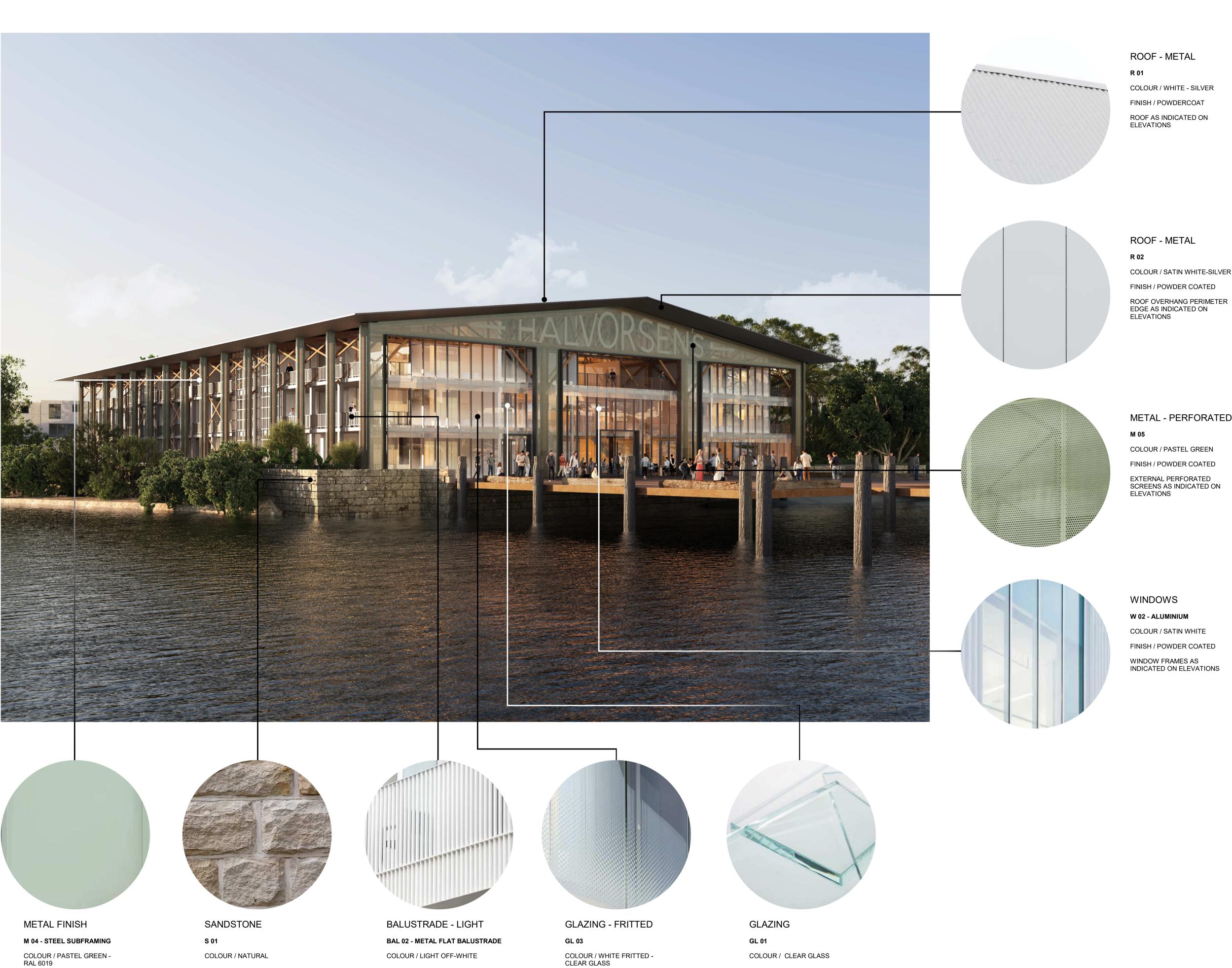
20 Waterview St Putney 2112

Drawing Name

PERIFIA

BUILDING ENVELOPE DIAGRAMS - 3D HEIGHT ANALYSIS

Date	Scale	Sheet Size
01/03/202	24 1:1	@ A1
Drawn	Chk.	Job No.
JS	SC	6810
Drawing No.		Revision
DA-35	510	/ 2



FINISH / FRITTED

NORTHERN AND SOUTHERN FACADE

FINISH / NATURAL - IN-SITU

SEA WALLS

FINISH / POWDER COATED

EXPOSED SUB-FRAMING SUPPORTING EXTERNAL PERFORATED SCREENS

FINISH / EPOXY PAINT

FACADE AS INDICATED ON ELEVATIONS

FORMAT / TO MEET BASIX REQUIREMENTS

ALL FACADES

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Rev	Date	Revision	Ву	Chk.
1	08/09/2023	ISSUED FOR APPROVAL	JS	SC
2	01/03/2024	AMENDED DA	JS	JP

ROOF OVERHANG PERIMETER EDGE AS INDICATED ON

METAL - PERFORATED

COLOUR / PASTEL GREEN

FINISH / POWDER COATED

EXTERNAL PERFORATED SCREENS AS INDICATED ON

FINISH / POWDER COATED



ABADEEN

PERIFIA

20 Waterview St Putney 2112

Drawing Name

EXTERNAL FINISHES 01

DA-50	001	/ 2
Drawing No.		Revision
JS	SC	6810
Drawn	Chk.	Job No.
01/03/202	24	@ A1
Date	Scale	Sheet Size

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BRICK

B 01 - GHOST COLOUR / CREAM - OFF WHITE FINISH / NATURAL

FORMAT / STRETCHER BOND

AS INDICATED ON ELEVATIONS

BALUSTRADE - DARK

BAL 01 - METAL FLAT BALUSTRADE

COLOUR / DARK JUTE

FINISH / PAINT FINISH

TERRACE BALCONIES AND FENCES AS PER ELEVATIONS

CONCRETE

A 03 - OFF-FORM CONCRETE

COLOUR / NATURAL EXTERIOR TERRACES AS

INDICATED ON ELEVATIONS

GLAZING GL 01 COLOUR / CLEAR GLASS FORMAT / TO MEET BASIX REQUIREMENTS

ALL FACADES



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Drawing Name

EXTERNAL FINISHES 02

Date	Scale	Sheet Size
01/03/20	24	@ A1
Drawn	Chk.	Job No.
JS	SC	6810
Drawing No.		Revision
DA-5002		/ 2

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DA-5002

METAL FINISH

COLOUR / DARK JUTE

M 01 - PALISADE FENCING

FINISH / IRON OXIDE PAINT FINISH

TERRACE'S FENCING, ENTRY GATE, ROLLER DOORS AS INDICATED ON ELEVATIONS



SANDSTONE - IN-SITU

S 01

LANDSCAPE

COLOUR / NATURAL FINISH / NATURAL / PERMEABLE



SCREENS, ENTRY DOORS, WAYFINDING AS INDICATED ON THE ELEVATIONS

CONCRETE A 03 - OFF-FORM CONCRETE

COLOUR / NATURAL FINISH / CLASS 2 EXTERIOR TERRACES AS INDICATED ON ELEVATIONS



WINDOWS W 01 - ALUMINIUM COLOUR / DARK BRONZE FINISH / POWDER COATED

WINDOW FRAMES AS INDICATED ON ELEVATIONS

NOT FOR CONSTRUCTION



CONCRETE

A 03 - OFF-FORM CONCRETE

COLOUR / NATURAL

FINISH / CLASS 2

DRIVEWAYS / BASEMENT WALLS

FINS

SC 01 - PERGOLA

COLOUR / DARK JUTE

FINISH / IRON OXIDE PAINTING
FACADE AS INDICATED ON
ELEVATIONS

WINDOWS

W 01 - ALUMINIUM

COLOUR / DARK BRONZE

FINISH / POWDER COATED
WINDOW FRAMES AS
INDICATED ON ELEVATIONS

TIMBER

T 01 - RECYCLED TIMBER

COLOUR / NATURAL

FINISH / LATHED, SANDED, WEATHER PROOF TREATMENT SCREENS, ENTRY DOORS, WAYFINDING AS INDICATED ON THE ELEVATIONS GLAZING

GL 01

COLOUR / CLEAR GLASS
FORMAT / TO MEET BASIX
REQUIREMENTS

ALL FACADES

BRICK

B 01 - GHOST

COLOUR / CREAM - OFF WHITE FINISH / NATURAL

FORMAT / STRETCHER BOND
AS INDICATED ON ELEVATIONS

METAL FINISH

M 01 - PERGOLA

COLOUR / DARK JUTE

FINISH / IRON OXIDE PAINTING
PERGOLAS TO THE RFB,
BALUSTRADES, ENTRY GATES,

STEEL PALISADE FENCING

MASONRY RENDER

COLOUR / NATURAL CREAM

FINISH / RENDER
BALCONY UPSTANDS,

TERRACES-BASE WALLS

CONCRETE

A 03 - OFF-FORM CONCRETE

COLOUR / NATURAL

FINISH / CLASS 2

SLAB EDGES



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Project
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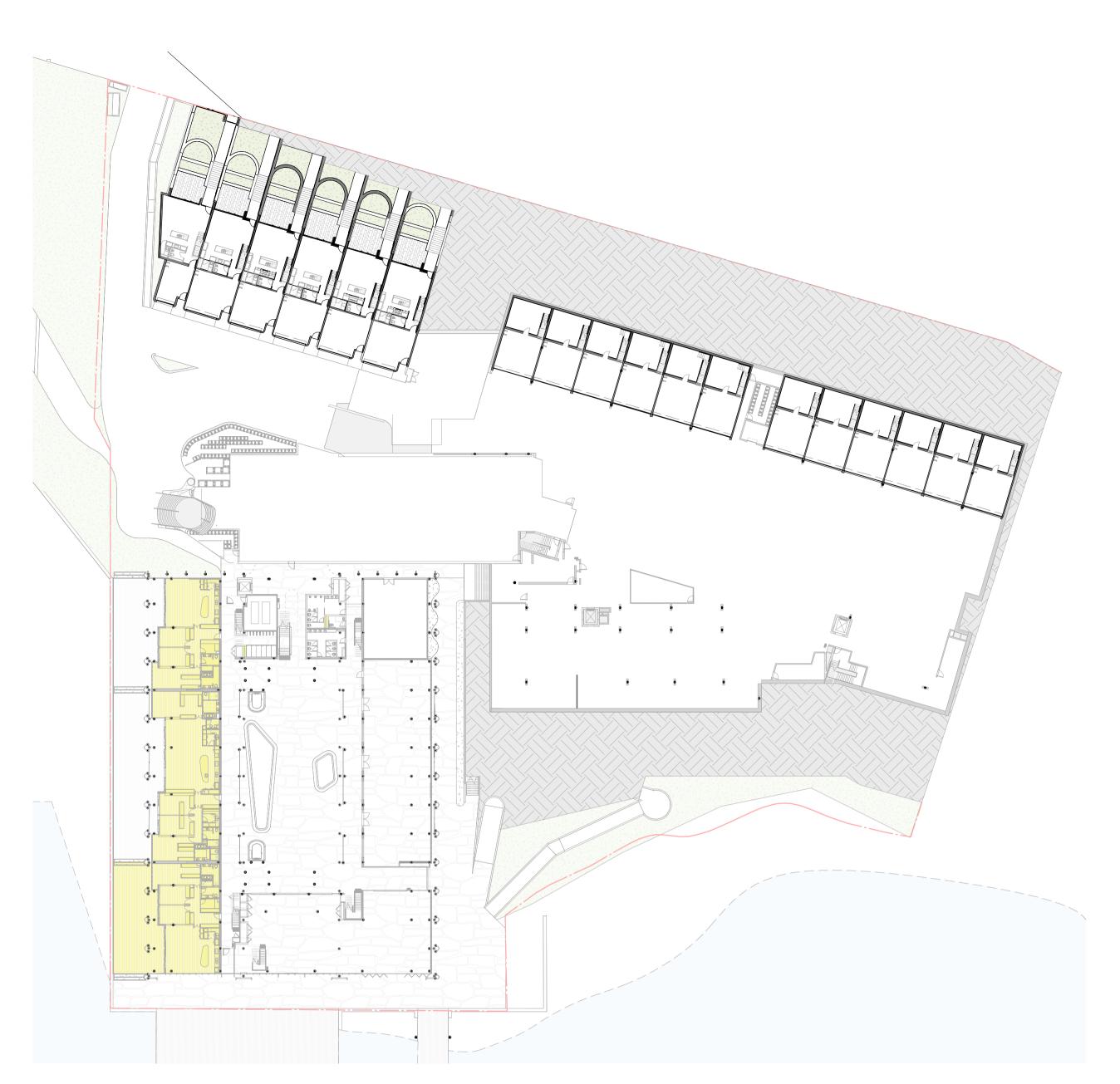
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EXTERNAL FINISHES 03

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Date	Scale	Sheet S
01/03/20	24	@ /
Drawn	Chk.	Job
JS	SC	68

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www.sjb.com.au



PLAN LOWER BASEMENT LEVEL SOLAR 9.00-15.00

SCALE 1:500

SOLAR COMPLIANCE			
Level	Number	Solar	
RFB GROUND	R.G.01	2H	
RFB GROUND	R.G.02	2H	
RFB GROUND	R.G.03	2H	
RFB GROUND	R.G.05	2H	
RFB GROUND	R.G.06	2H	
RFB GROUND	R.G.07	2H	
RFB GROUND	R.G.09	2H	
RFB GROUND	R.G.10	2H	
RFB LEVEL 1	R.1.01	2H	
RFB LEVEL 1	R.1.02	2H	
RFB LEVEL 1	R.1.03	2H	
RFB LEVEL 1	R.1.05	2H	
RFB LEVEL 1	R.1.06	2H	
RFB LEVEL 1	R.1.07	2H	
RFB LEVEL 1	R.1.09	2H	
RFB LEVEL 1	R.1.10	2H	
RFB LEVEL 2	R.2.01	2H	
RFB LEVEL 2	R.2.02	2H	
RFB LEVEL 2	R.2.03	2H	
RFB LEVEL 2	R.2.05	2H	
RFB LEVEL 2	R.2.06	2H	
RFB LEVEL 2	R.2.07	2H	
RFB LEVEL 2	R.2.09	2H	
RFB LEVEL 2	R.2.10	2H	
SHED GROUND LEVEL	S.G.01	2H	
SHED GROUND LEVEL	S.G.02	2H	
SHED GROUND LEVEL	S.G.03	2H	
SHED GROUND LEVEL	S.G.03	2H	
SHED GROUND LEVEL	S.G.04	2H	
SHED GROUND LEVEL	S.G.11	2H	
SHED GROUND LEVEL	S.G.12	2H	
SHED GROUND LEVEL	S.R.08	2H	
SHED LEVEL 1	S.1.01	2H	
SHED LEVEL 1	S.1.02	2H	
SHED LEVEL 1	S.1.03	2H	
SHED LEVEL 1	S.1.04	2H	
SHED LEVEL 1	S.1.04	2H	



2 PLAN GROUND LEVEL SOLAR 9.00-15.00

SCALE 1:500

<u>LEGEND</u>

MIN 2 HOURS SUNLIGHT TO LIVING ROOM AND PRIVATE OPEN SPACE RECIEVED ON 21 JUNE BETWEEN 9AM - 3PM.



LESS THAN 15 MINUTES SUNLIGHT TO LIVING ROOM AND PRIVATE OPEN SPACE RECIEVED ON 21 JUNE

ADG DESIGN CRITERIA

- LIVING ROOMS AND PRIVATE OPEN SPACES OF AT LEAST 70% OF APARTMENTS IN A BUILDING RECEIVE A MINIMUM OF 2 HOURS DIRECT SUNLIGHT BETWEEN 9AM AND 3PM IN MID WINTER.

- A MAXIMUM OF 15% OF APARTMENTS IN A BUILDING RECIEVE NO DIRECT SUNLIGHT BETWEEN 9AM AND 3PM AT MID WINTER.

SOLAR SUMMARY

73% (36 UNITS) OF ALL RESIDENTIAL UNITS RECEIVE A MINIMUM OF 2 HOURS OF SUNLIGHT TO LIVING ROOM AND PRIVATE OPEN SPACES.

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Nominated Architects: Adam Haddow-7188 | John Pradel-7004

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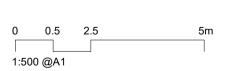
2 01/03/2024 AMENDED DA

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Drawing Name SOLAR COMPLIANCE -SHEET 01



Drawing No.		Revision
JS	SC	6810
Drawn	Chk.	Job No.
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Drawing Name SOLAR COMPLIANCE -SHEET 02

0 0.5 2.5

01/03/2024	As indicated	
Date	Scale	s
1:500 @A1		

DA-600	2	/ 2
Drawing No.		Revision
JS	SC	6810
Drawn	Chk.	Job No.
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PLAN LEVEL 1 SOLAR 9.00-15.00 SCALE 1:500

Level	Number	Solar
	-	
RFB GROUND	R.G.01	2H
RFB GROUND	R.G.02	2H
RFB GROUND	R.G.03	2H
RFB GROUND	R.G.05	2H
RFB GROUND	R.G.06	2H
RFB GROUND	R.G.07	2H
RFB GROUND	R.G.09	2H
RFB GROUND	R.G.10	2H
RFB LEVEL 1	R.1.01	2H
RFB LEVEL 1	R.1.02	2H
RFB LEVEL 1	R.1.03	2H
RFB LEVEL 1	R.1.05	2H
RFB LEVEL 1	R.1.06	2H
RFB LEVEL 1	R.1.07	2H
RFB LEVEL 1	R.1.09	2H
RFB LEVEL 1	R.1.10	2H
RFB LEVEL 2	R.2.01	2H
RFB LEVEL 2	R.2.02	2H
RFB LEVEL 2	R.2.03	2H
RFB LEVEL 2	R.2.05	2H
RFB LEVEL 2	R.2.06	2H
RFB LEVEL 2	R.2.07	2H
RFB LEVEL 2	R.2.09	2H
RFB LEVEL 2	R.2.10	2H
SHED GROUND LEVEL	S.G.01	2H
SHED GROUND LEVEL	S.G.02	2H
SHED GROUND LEVEL	S.G.03	2H
SHED GROUND LEVEL	S.G.03	2H
SHED GROUND LEVEL	S.G.04	2H
SHED GROUND LEVEL	S.G.11	2H
SHED GROUND LEVEL	S.G.12	2H
SHED GROUND LEVEL	S.R.08	2H
SHED LEVEL 1	S.1.01	2H
SHED LEVEL 1	S.1.02	2H
SHED LEVEL 1	S.1.03	2H
SHED LEVEL 1	S.1.04	2H
SHED LEVEL 1	S.1.04	2H

2 PLAN LEVEL 2 SOLAR 9.00-15.00

SCALE 1:500

<u>LEGEND</u>

2 HRS MIN 2 HOURS SUNLIGHT TO LIVING ROOM AND PRIVATE OPEN SPACE RECIEVED ON 21 JUNE BETWEEN 9AM - 3PM.



LESS THAN 15 MINUTES SUNLIGHT TO LIVING ROOM AND PRIVATE OPEN SPACE RECIEVED ON 21 JUNE

ADG DESIGN CRITERIA

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- A MAXIMUM OF 15% OF APARTMENTS IN A BUILDING RECIEVE NO DIRECT SUNLIGHT BETWEEN 9AM AND 3PM AT MID WINTER.

SOLAR SUMMARY

73% (36 UNITS) OF ALL RESIDENTIAL UNITS RECEIVE A MINIMUM OF 2 HOURS OF SUNLIGHT TO LIVING ROOM AND PRIVATE OPEN SPACES.







1 LOWER BASEMENT LEVEL CROSS VENT - SCALE 1:500

CROSS VE	NT COMPLIA	NCE
Level	Apartment Number	Cross Vent
RFB GROUND	R.G.01	YES
RFB GROUND	R.G.03	YES
RFB GROUND	R.G.04	YES
RFB GROUND	R.G.05	YES
RFB GROUND	R.G.06	YES
RFB GROUND	R.G.07	YES
RFB GROUND	R.G.08	YES
RFB GROUND	R.G.09	YES
RFB LEVEL 1	R.1.01	YES
RFB LEVEL 1	R.1.03	YES
RFB LEVEL 1	R.1.04	YES
RFB LEVEL 1	R.1.05	YES
RFB LEVEL 1	R.1.06	YES
RFB LEVEL 1	R.1.07	YES
RFB LEVEL 1	R.1.08	YES
RFB LEVEL 1	R.1.09	YES
RFB LEVEL 2	R.2.01	YES
RFB LEVEL 2	R.2.03	YES
RFB LEVEL 2	R.2.04	YES
RFB LEVEL 2	R.2.05	YES
RFB LEVEL 2	R.2.06	YES
RFB LEVEL 2	R.2.07	YES
RFB LEVEL 2	R.2.08	YES
RFB LEVEL 2	R.2.09	YES

Level	Apartment Number	Cross Vent
SHED GROUND LEVEL	S.G.01	YES
SHED GROUND LEVEL	S.G.01	YES
		YES
SHED GROUND LEVEL	S.G.03	
SHED GROUND LEVEL	S.G.03	YES YES
SHED GROUND LEVEL	S.G.04	
SHED GROUND LEVEL	S.G.06	YES
SHED GROUND LEVEL	S.G.07	YES
SHED GROUND LEVEL	S.G.08	YES
SHED GROUND LEVEL	S.G.11	YES
SHED GROUND LEVEL	S.G.12	YES
SHED GROUND LEVEL	S.R.08	YES
SHED LEVEL 1	S.1.01	YES
SHED LEVEL 1	S.1.02	YES
SHED LEVEL 1	S.1.03	YES
SHED LEVEL 1	S.1.04	YES
SHED LEVEL 1	S.1.04	YES
SHED LEVEL 1	S.1.05	YES
SHED LEVEL 1	S.1.06	YES
SHED LEVEL 1	S.1.06	YES
SHED LEVEL 1	S.1.07	YES
SHED LEVEL 1	S.1.08	YES
SHED LEVEL 1	S.1.09	YES
SHED LEVEL 1	S.1.12	YES
SHED LEVEL 1	S.1.13	YES
SHED LEVEL 1	S.1.27	YES
SHED LEVEL 1	S.R.07	YES
SHED LOWER GROUND	S.LG.01	YES
SHED LOWER GROUND	S.LG.03	YES
SHED LOWER GROUND	S.LG.03	YES
SHED LOWER GROUND	S.LG.17	YES
SHED LOWER GROUND Grand total: 55	S.LG.24	YES

CROSS VENT COMPLIANCE



LEGEND

YES CROSS VENTILATION ACHIEVED

NO CROSS VENTILATION NOT ACHIEVED

ADG DESIGN CRITERIA

AT LEAST 60% OF APARTMENTS ARE NATURALLY CROSS VENTILATED IN THE FIRST NINE STOREYS OF THE BUILDING.

APARTMENT ACHIEVING NATURAL CROSS VENITLATION = 41 / 49 = 84%

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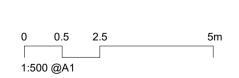
Rev	Date	Revision	Ву	Ch
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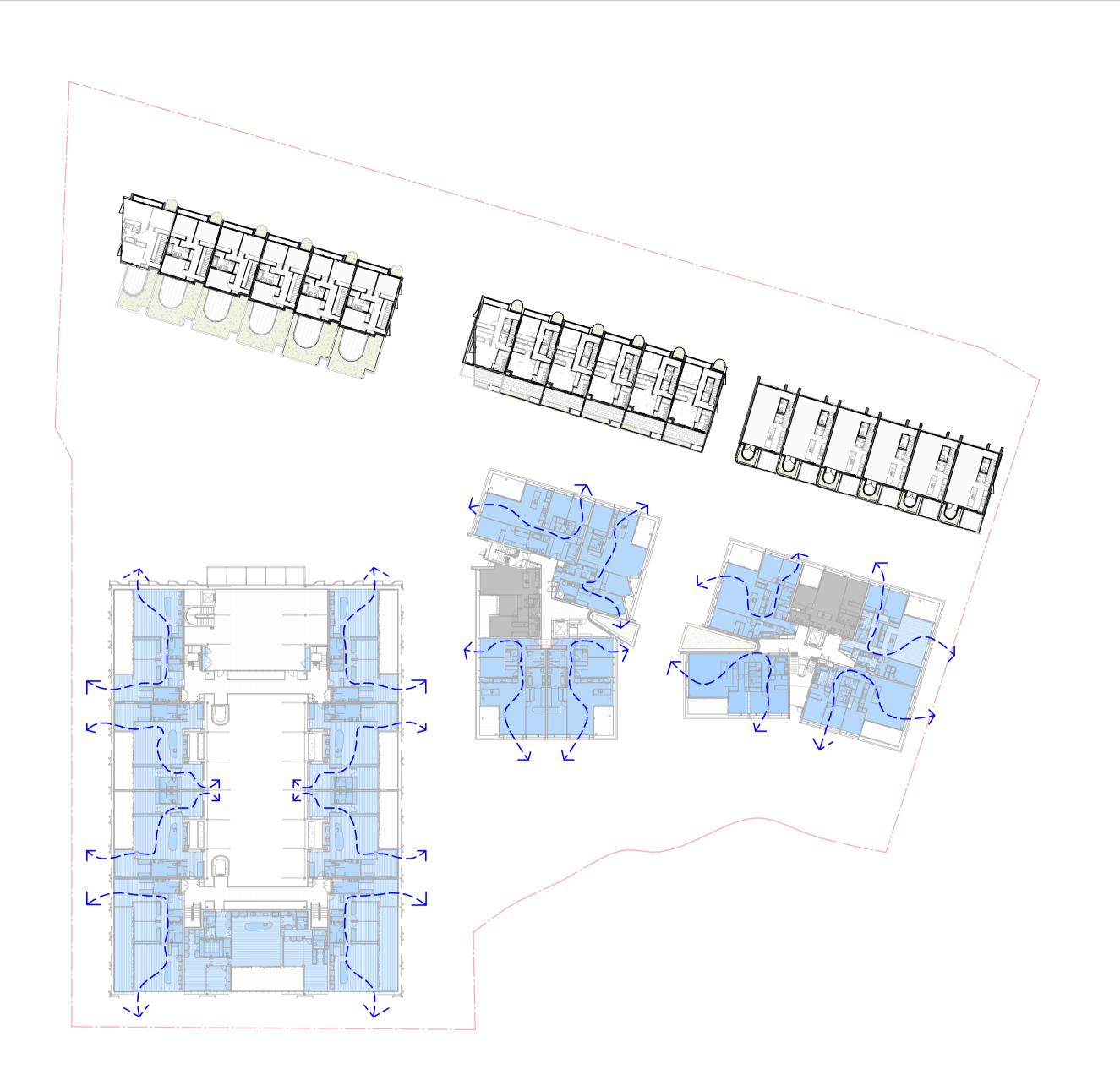
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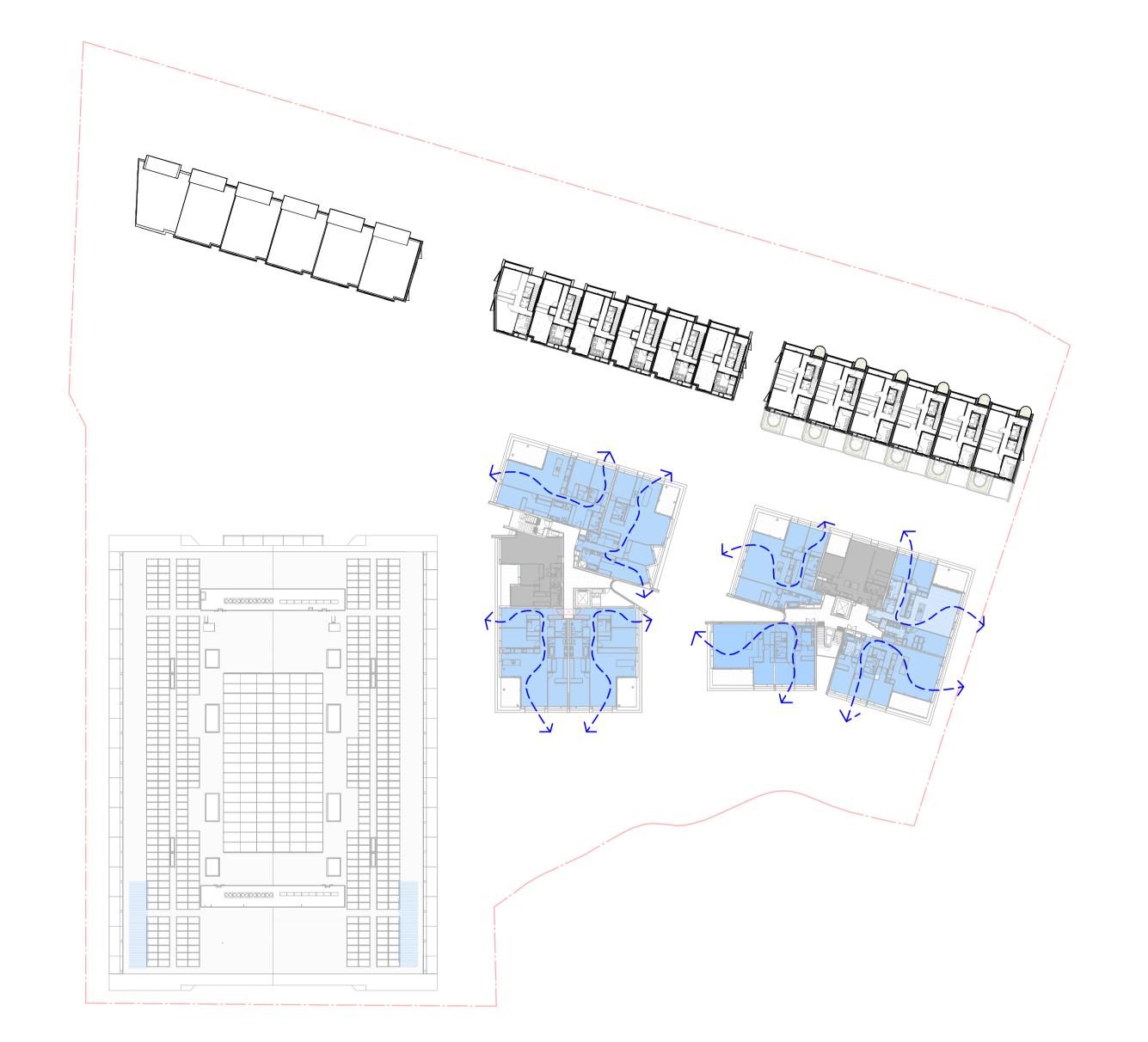
Drawing Name CROSS VENTILATION COMPLIANCE - SHEET 01



DA-700)1	/ 3
Drawing No.		Revisio
JS	SC	681
Drawn	Chk.	Job N
01/03/2024	As indicated	@ A
Date	Scale	Sheet Siz







Nominated Architects: Adam Haddow-7188 | John Pradel-7004

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3	01/03/2024	AMENDED DA	JS	J

FOR APPROVAL

1 LEVEL 1 CROSS VENT - SCALE 1:500

CROSS VEN	T COMPLIA	NCE
Level	Apartment Number	Cross Vent
DED ODOLIND	D 0 04	\/F0
RFB GROUND	R.G.01	YES
RFB GROUND	R.G.03	YES
RFB GROUND	R.G.04	YES
RFB GROUND	R.G.05	YES
RFB GROUND	R.G.06	YES
RFB GROUND	R.G.07	YES
RFB GROUND	R.G.08	YES
RFB GROUND	R.G.09	YES
RFB LEVEL 1	R.1.01	YES
RFB LEVEL 1	R.1.03	YES
RFB LEVEL 1	R.1.04	YES
RFB LEVEL 1	R.1.05	YES
RFB LEVEL 1	R.1.06	YES
RFB LEVEL 1	R.1.07	YES
RFB LEVEL 1	R.1.08	YES
RFB LEVEL 1	R.1.09	YES
RFB LEVEL 2	R.2.01	YES
RFB LEVEL 2	R.2.03	YES
RFB LEVEL 2	R.2.04	YES
RFB LEVEL 2	R.2.05	YES
RFB LEVEL 2	R.2.06	YES
RFB LEVEL 2	R.2.07	YES
RFB LEVEL 2	R.2.08	YES
RFB LEVEL 2	R.2.09	YES

Level	Apartment Number	Cross Ve
SHED GROUND LEVEL	S.G.01	YES
SHED GROUND LEVEL	S.G.02	YES
SHED GROUND LEVEL	S.G.03	YES
SHED GROUND LEVEL	S.G.03	YES
SHED GROUND LEVEL	S.G.04	YES
SHED GROUND LEVEL	S.G.06	YES
SHED GROUND LEVEL	S.G.07	YES
SHED GROUND LEVEL	S.G.08	YES
SHED GROUND LEVEL	S.G.11	YES
SHED GROUND LEVEL	S.G.12	YES
SHED GROUND LEVEL	S.R.08	YES
SHED LEVEL 1	S.1.01	YES
SHED LEVEL 1	S.1.02	YES
SHED LEVEL 1	S.1.03	YES
SHED LEVEL 1	S.1.04	YES
SHED LEVEL 1	S.1.04	YES
SHED LEVEL 1	S.1.05	YES
SHED LEVEL 1	S.1.06	YES
SHED LEVEL 1	S.1.06	YES
SHED LEVEL 1	S.1.07	YES
SHED LEVEL 1	S.1.08	YES
SHED LEVEL 1	S.1.09	YES
SHED LEVEL 1	S.1.12	YES
SHED LEVEL 1	S.1.13	YES
SHED LEVEL 1	S.1.27	YES
SHED LEVEL 1	S.R.07	YES
SHED LOWER GROUND	S.LG.01	YES
SHED LOWER GROUND	S.LG.03	YES
SHED LOWER GROUND	S.LG.03	YES
SHED LOWER GROUND	S.LG.17	YES
SHED LOWER GROUND	S.LG.24	YES

2 LEVEL 2 CROSS VENT - SCALE 1:500

VES CROSS VENTILATION ACHIEVED NO CROSS VENTILATION NOT ACHIEVED ADG DESIGN CRITERIA AT LEAST 60% OF APARTMENTS ARE NATURALLY CROSS VENTILATED IN THE FIRST NINE STOREYS OF THE BUILDING. APARTMENT ACHIEVING NATURAL CROSS VENITLATION = 41 / 49 = 84%



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CROSS VENTILATION
COMPLIANCE - SHEET 02

0 0.5 2.5 5m 1:500 @A1

DA-700)2	/ 3
Drawing No.		Revision
JS	SC	6810
Drawn	Chk.	Job No.
01/03/2024	As indicated	@ A1
Date	Scale	Sheet Size

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2 LANDSCAPED AREAS
SCALE 1:500

<u>LEGEND</u>

LANDSCAPED AREA DEEP SOIL

DEEP SOIL SUMMARY TOTAL SITE AREA: REQUIRED DEEP SOIL (7%)

TOTAL PROPOSED DEEP SOIL

15870 m² 1111 m² 1636 m² (10%)

LANDSCAPE SUMMARY TOTAL SITE AREA: REQUIRED LANDSCAPE (30%)

TOTAL PROPOSED LANDSCAPE

4761 m² 5516 m² (35%)

15870 m²



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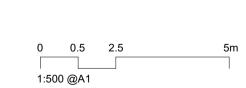
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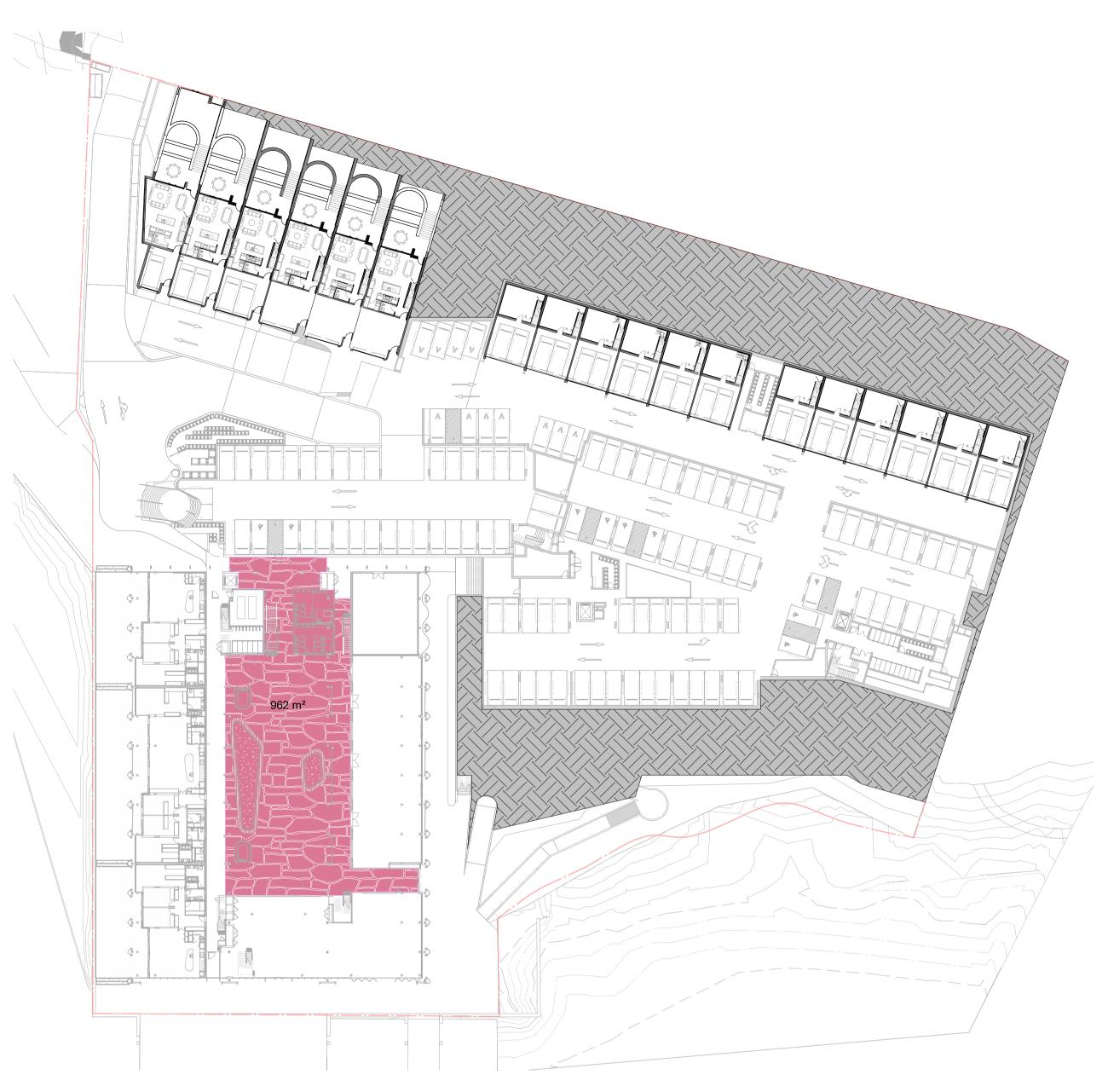
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Drawing Name DEEP SOIL



Date	Scale	Sheet Siz
01/03/2024	As indicated	@ A
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Drawing No.		Revisio
DA-800)1	/ 3

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UPPER BASEMENT LEVEL - COMMUNAL OPEN SPACE SCALE 1:500

<u>LEGEND</u>

PUBLIC SPACE

SEMI-PUBLIC SPACE



COMMUNAL SPACE

COMMUNAL OPEN SPACE SUMMARY

TOTAL SITE AREA: 15870 m² SITE AREA EXCLUDING TERRACES: 12292 m² REQUIRED COMMUNAL 3073 m² OPEN SPACE (25%)

PROPOSED PUBLIC SPACE

GROUND LEVEL 5518 m² (44.8%)

PROPOSED SEMI-PUBLIC SPACE UPPER BASEMENT LEVEL

962 m² (7.8%)

PROPOSED COMMUNAL SPACE

ROOF LEVEL 359 m² (3%) TOTAL COMMUNAL OPEN SPACE

6839 m² (55.6%)





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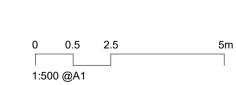
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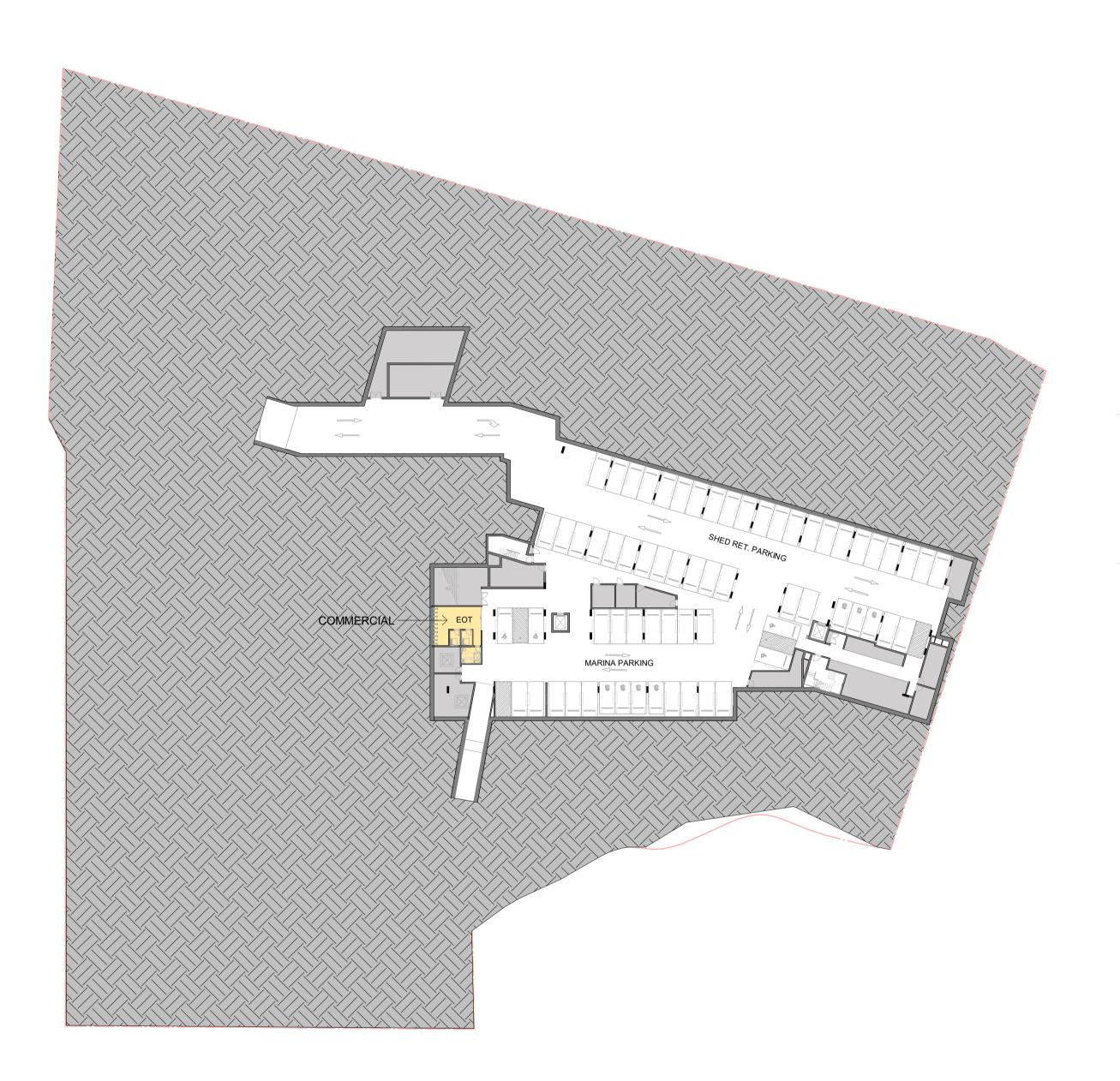
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Drawing Name COMMUNAL SPACE



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01/03/2024	As indicated	@ A1
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1 LOWER BASEMENT_LAND USE

SCALE 1:500





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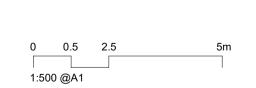
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Drawing Name LAND USE DIAGRAM



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01/03/2024	1 : 500	@ A1
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Drawing No.		Revision
DA-801	0	/ 3





1 GROUND LEVEL_LAND USE

SCALE 1:500

2 LEVEL 1_LAND USE
DA-1100 SCALE 1:500

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Nominated Architects: Adam Haddow-7188 | John Pradel-700-

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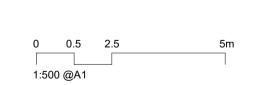


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20 Waterview St Putney 2112

Drawing Name

LAND USE DIAGRAM



Date	Scale	Sheet Size
01/03/2024	1 : 500	@ A1
Drawn	Chk.	Job No
JS	SC	6810
Drawing No.		Revisior
DA-801	1	/ 3

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	01/03/2024	AMENDED DA	JS	JP
	08/05/2024	COUNCIL RFI	JS	SC

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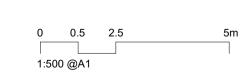
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Drawing Name

WASTE MANAGEMENT



Date	Scale	Sheet Size
08/05/2024	1 : 300	@ A1
Drawn	Chk.	Job No
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Drawing No.		Revision

Drawing No. Revision

DA-9002

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